

# Attachment G

## **Historic Resources Assessment**



5600 HOLLYWOOD BLVD, 5604-5606 HOLLYWOOD  
BOULEVARD, 1655 N. SAINT ANDREWS PLACE, AND  
5607 CARLTON WAY, LOS ANGELES, CALIFORNIA

**Historic Resources Assessment**

**Prepared for**

Mr. Sean Beddoe  
Bow West Capital  
718 South Hill Street, Suite 601

**October 2020**





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# TABLE OF CONTENTS

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## Historic Resource Assessment

	<u>Page</u>
<b>1.0 Introduction.....</b>	<b>6</b>
1.1 Executive Summary .....	6
1.2 Project Location .....	9
1.3 Research and Field Methodology .....	12
<b>2.0 Regulatory Framework .....</b>	<b>13</b>
2.1 Federal Eligibility Criteria and Integrity Aspects .....	13
2.2 State Register and Eligibility Criteria .....	15
2.3 Local Cultural Heritage Ordinance and Eligibility Criteria.....	17
<b>3.0 Identification of Potential Historical Resources within the Subject</b>	
<b>Property and Surrounding Area .....</b>	<b>19</b>
3.1 Previous Evaluations of the Subject Property .....	19
3.2 Archival Research .....	19
3.3 Historic Resources Setting .....	33
<b>4.0 Environmental Setting .....</b>	<b>38</b>
4.1 Neighborhood Development .....	38
4.2 Architectural Description .....	45
4.3 History of the Subject Properties .....	69
4.4 Historic Context.....	80
<b>5.0 Evaluation .....</b>	<b>81</b>
5.1 SurveyLA Registration Requirements and Eligibility Standards.....	81
5.2 Significance Evaluation.....	87
5.3 Conclusion .....	95
<b>6.0 CEQA Impacts Analysis .....</b>	<b>97</b>
6.1 CEQA Guidelines .....	97
6.2 Project Description .....	99
6.3 Analysis of the Project .....	103
Secretary of the Interior’s Standards Reviews.....	107
6.4 Groundbourne Vibrations Impact.....	109
6.5 Conclusion .....	113
<b>7.0 Bibliography .....</b>	<b>115</b>

### Appendices

- A Professional Qualifications
- B Tract Map
- C Sanborn Maps
- D Building Permits
- E DPR Forms

**List of Figures**

Figure 1 Regional and Project Vicinity Map .....	10
Figure 2 Aerial Photograph of Subject Properties.....	11
Figure 3 A view of the north (primary) façade of the California Bank Building, view facing southwest .....	26
Figure 4 A comparison of the historic footprint of the California Bank Building, as seen in a 1950 Sanborn map (left) with the current LA County Assessor map (right) indicates that there may be some additions to the rear of the building.....	26
Figure 5 A view of the south (primary) façade of the second building constructed on the property at 5611 W. Hollywood Boulevard, which faces onto the boulevard, view facing north .....	28
Figure 6 A comparison of the footprints of the two buildings constructed on the property at 5611 W. Hollywood as they existed in 1950 when recorded on a Sanborn (left) with their appearance today as shown on a current LA County Assessor map (right). The second building constructed on the property, which faces onto Hollywood Boulevard, appears to retain its original footprint.....	28
Figure 7 A view of the south (primary) façade of Hollywood Downtowner Inn, view facing north .....	30
Figure 8 A comparison of the footprint of the Hollywood Downtowner Inn as it appeared one year after its original construction, as shown on a 1957 Sanborn map (left) with its appearance today, as shown on the current LA County Assessor map (right). Based upon the building's footprint, it appears to retain its original configuration.....	30
Figure 9 A view of the south (primary) façade of 5611 Carlton Way, view facing north.....	32
Figure 10 A comparison of the footprint of 5611 Carlton Way as documented in a 1950 Sanborn (left) with the current LA County Assessor map (right) reveals that the original footprint appears to remain intact. ....	33
Figure 11 Excerpt of Irving Park Tract with the subject properties outlined in red .....	38
Figure 12 Excerpt of the 1919 Sanborn .....	40
Figure 13 Detail of 1928 aerial, subject property outlined in red.....	40
Figure 14 Detail of 1938 aerial, subject property outlined in red.....	41
Figure 15 Detail of 1948 aerial, subject property outlined in red.....	41
Figure 16 Excerpt of the 1950 Sanborn .....	42
Figure 17 Excerpt of the 1955 Sanborn .....	42
Figure 18 Excerpt of the 1957 Sanborn .....	43
Figure 19 Excerpt of the 1960 Sanborn .....	43
Figure 20 Aerial from 1989, subject properties outlined in red .....	44
Figure 21 Aerial from 2002, subject properties outlined in red .....	44
Figure 22 Aerial from 2016, subject properties outlined in red .....	45
Figure 23 The vacant lot located at 5600 Hollywood Boulevard, with the side elevation of 5604-5606 Hollywood Boulevard shown beyond, view facing west.....	46
Figure 24 North (primary) elevation of 5604-5606 Hollywood Boulevard, view facing south. The exterior of the building was originally exposed brick, as documented in a building permit, so the stucco that appears on the façade today appears to be an unpermitted alteration. Other more minor alterations, such as the security gate over the storefront and the new vinyl windows, are outlined in yellow .....	47

	<u>Page</u>
Figure 25 East (side) elevation of 5604-5606 Hollywood Boulevard, view facing west. Altered windows are outlined in red Alterations such as the security bars are outlined in red, and non-original vinyl windows are outlined in yellow.....	48
Figure 26 South (rear) elevation of 5604-5606 Hollywood Boulevard, view facing north. A non-original overhead door opening is outlined in red, and non-original vinyl windows are outlined in yellow .....	49
Figure 27 West (side) elevation of 5604-5606 Hollywood Boulevard, view facing northeast. Alterations such as the security bars are outlined in red, the non-original vinyl windows are outlined in yellow, and the locations of the non-original air conditioning units are indicated with blue arrows. ....	50
Figure 28 North facing stairwell at 5604-5606 Hollywood Boulevard, view facing north. The stairwell located in the northeastern corner of the building that provides access to the interior second floor from the sidewalk located in front of building on Hollywood Boulevard. ....	51
Figure 29 First floor of 5604-5606 Hollywood Boulevard looking towards front of building, view facing north. Storefront alteration outlined in red.....	52
Figure 30 First floor of 5400-5600 Hollywood Boulevard looking towards rear of building, view facing south.....	52
Figure 31 Second floor corridor of 5400-5600 Hollywood Boulevard around which both apartment units and office units open, view facing north .....	53
Figure 32 Typical apartment unit on second floor of 5400-5600 Hollywood Boulevard, view facing west.....	53
Figure 33 Typical kitchen in typical apartment unit on second floor of 5400-5600 Hollywood Boulevard, view facing north.....	54
Figure 34 Typical bathroom in typical apartment unit on second floor of 5400-5600 Hollywood Boulevard, view facing west.....	54
Figure 35 The primary (east) façade of 1655 N. Saint Andrews Place as centered on one of the three main entrances to the building, view facing west. The replacement decorative foliate railing that runs along the entirety of facade is outlined in red. As shown in the photo, many door and window openings are boarded up, and some doors and windows appear to be missing. ....	56
Figure 36 The south (side) elevation of 1655 N. Saint Andrews Place, which faces onto Carlton Way, view facing north.....	57
Figure 37 The north (side) elevation of 1655 N. Saint. Andrews Place, view facing southwest.....	58
Figure 38 The west (rear) elevation of 1655 N. Saint Andrews Place, view facing east.....	58
Figure 39 Ground Floor Parking at 1655 N. Saint Andrews Place, view southwest. Parking spaces located at the ground floor level beneath apartment units with one of the three exterior open-tread stairs located along the length of the front façade that provides access to the interior of the building. ....	60
Figure 40 Exterior stairs at 1655 N. Saint Andrews Place, view facing northwest. Stairs lead from ground level to enclosed corridor located above the first floor level.....	60
Figure 41 Internal stair corridor 1655 N. Saint Andrews Place, view facing east. Stair corridor around which entrances to two apartment units open at the second floor level (shown) and at the third floor level, view facing east.....	61
Figure 42 External stairs located at the southeast corner of 1655 N. Saint Andrews Place, view facing west. Open-tread stairs are arranged in a zig-zag configuration to provide access to one apartment unit on the second floor and another on the third floor level. The original, unaltered railing at this	

	<u>Page</u>
location (horizontal sections of which are outlined in red) reflects the former original appearance of the east facade, prior to the 1972 railing replacement. ....	62
Figure 43 Detail of exterior stairs at 1655 N. Saint Andrews Place, view facing northwest. The metal railings that appear to be original that flank the building's exterior stairs (foreground), with the replacement railings added to the building's street-facing, open-air balconies in 1972 in the background .....	63
Figure 44 Detail of railings, view facing west. A detail of the replacement metal railings and supports with a foliate decorative pattern that were placed on the building's street-facing balconies in 1972.....	64
Figure 45 Typical living room in typical apartment unit, view facing east. Addition of plywood sheathing outlined in red .....	65
Figure 46 Typical dining room area in typical apartment unit, view facing north .....	65
Figure 47 Typical kitchen in typical apartment unit, view facing east .....	66
Figure 48 Typical bedroom in typical apartment unit, view facing northwest.....	66
Figure 49 Typical bedroom closet in typical apartment unit, view facing east.....	67
Figure 50 Typical bathroom in typical apartment unit, view facing west.....	68
Figure 51 The parking lot located at 5607 Carlton Way, view facing north .....	69
Figure 52 Wohlstetter House constructed in 1953 .....	76
Figure 53 Henry Shire House constructed in 1949 .....	77
Figure 54 Van der Kar residence constructed in 1947.....	77
Figure 55 Dingbat in the San Fernando Valley .....	85
Figure 56 Dingbat at 11742-11744 Dorothy Street, 1956, Brentwood.....	85
Figure 57 Lido Capri, 4216 Mary Ellen Avenue, Studio City, 1958.....	86
Figure 58 The Sundial Palms, 3449-3455 Jasmine Avenue, Palms, 1961.....	86
Figure 59 3626 S. Vinton Avenue, Palms, 1963 .....	87
Figure 60 Glenlani Tiki, 1622 S Beverly Glen Blvd, Westwood, 1960 .....	87
Figure 61 Rendering of west elevation as viewed from Hollywood Boulevard, looking southeast.....	100
Figure 62 Rendering of north facade, looking south .....	101
Figure 63 Rendering of east elevation, looking west .....	101
Figure 64 Rendering of south elevation (left) and east elevation (right) as viewed from Carlton Way, looking northwest.....	102
Figure 65 Rendering of south elevation, looking north.....	102
Figure 66 Historical Resources with Direct Views of Project Site.....	106

## List of Tables

Table 1 Previous Cultural Resources Investigations on File at SCCIC .....	19
Table 2 Previously Recorded Historic Architectural Resources on File at SCCIC .....	22
Table 3 Nearby Historic Resources.....	34
(within .25 miles of site) .....	34
Table 4 5604-5606 Hollywood Boulevard, Los Angeles Los Angeles Department of Building and Safety Building Permits.....	70
Table 5 Ownership History of 5604-5606 Hollywood Blvd.....	71
Table 6 Occupancy History of 5604-5606 Hollywood Blvd .....	72
Table 8 Ownership and Occupant History of 1655 N. Saint Andrews Place .....	79
Table 9 Context Summary Table for Commercial Development, 1859-1980 .....	81

	<u>Page</u>
Table 10 Context Summary Table for Architecture and Engineering, 1850-1980; Late Moderne, 1937-1960.....	82
Table 10 Context Summary Table for Residential Development and Suburbanization, 1880-1980; Multi-Family Residential Development, 1895-1970; The Dingbat/Stucco Box, 1954-1968.....	84
Table 11 Guideline Vibration potential Threshold Criteria .....	110
Table 12 Vibration Source Amplitudes for Construction Equipment.....	111
Table 13 Guideline Vibration Potential Threshold Criteria .....	112

# **5600 HOLLYWOOD BLVD, 5604-5606 HOLLYWOOD BOULEVARD, 1655 N. SAINT ANDREWS PLACE, AND 5607 CARLTON WAY**

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## **Historic Resources Assessment**

### **1.0 Introduction**

#### **1.1 Executive Summary**

Environmental Science Associates (ESA) was retained by Mr. Sean Beddoe of Bow West Capital (Client) to prepare this Historic Resources Assessment Report (Report). The purpose of this Report is to identify and evaluate potential historical resources located at 5600 Hollywood Boulevard, 5604-5606 Hollywood Boulevard, 1655 N. Saint Andrews Place, and 5607 Carlton Way (subject properties) in the Irving Park Tract in the Hollywood Community Plan Area located in the City of Los Angeles (City), California, on assessor parcel number (APN) 5544-026-009, 5544-026-008, 5544-026-010, and 5544-026-011, respectively. The property at 5600 Hollywood Boulevard is currently undeveloped, and 5604-5606 Hollywood Boulevard is developed with a two-story brick vernacular modern building constructed in 1948 and designed by W. F. Pyne. The property at 1655 N. Saint Andrews Place is developed with a three-story Dingbat/Stucco Box style apartment building (comprised of a soft story at ground level for tuck-in parking spaces and with two levels of living units constructed above it); the apartment building was built in 1957 and designed by architect Josef Van Der Kar. The property at 5607 Carlton Way is currently developed with a parking lot. The subject properties are evaluated in this Report for their potential eligibility as historical resources for listing in the National Register of Historic Places (National Register), the California Register of Historical Resources (California Register), and for local designation as a City of Los Angeles Historical Cultural Monument (LAHCM) for a project that proposes to construct an 17-story, 196 feet in height apartment building with 200 units, including 20 affordable units, and 222,694 square feet of floor area (Project) on the subject properties. The Report includes a discussion of the survey methods used, regulatory framework, summary of previously recorded resources, a brief overview of the history of the properties and surrounding area, architectural description of the subject property, applicable contexts and periods of significance, SurveyLA eligibility requirements, an eligibility evaluation of the subject property, and an impacts analysis for compliance with the California Environmental Quality Act (CEQA).

As previously mentioned, 5600 Hollywood Boulevard and 5607 Carlton Way are not currently developed with buildings. The two-story vernacular commercial building located at 5604-5606 Hollywood Boulevard was originally developed in 1948 as a one-story building for retail use, and

an additional story was added two years later, in 1950, to provide apartment and office units. Today, the building is used as an auto repair shop on the first floor, while the second floor continues to be used as apartment and office units. The property at 1655 N. Saint Andrews Place was originally developed as a Mid-Century Modern multi-family apartment complex that was executed as a Dingbat/Stucco Box, a sub-property type of the multi-family apartment dwelling property type. It was designed in 1957 by notable architect Josef Van der Kar.

The subject properties are located in the Hollywood Community Plan Area (Hollywood CPA). The subject properties were not identified by SurveyLA as potentially significant, nor were they included in the Statewide Historical Resources Inventory (HRI) database maintained by the State Office of Historic Preservation (OHP), the Built Environment Resource Directory (BERD) maintained by the State Office of Historic Preservation (HRI/BERD).

ESA's qualified architectural historians—Gabrielle Harlan, Ph.D., and Hanna Winzenried, M.Sc.—conducted an intensive-level pedestrian site survey of the exterior and interior of the subject properties on May 25, 2020. As part of the survey, the subject properties were documented with digital photography and recorded on California Department of Parks and Recreation DPR Forms. ESA also conducted research on the subject properties' construction and occupancy to document the two building's chronology and alterations to the subject properties. In addition, their history within the context of the development of the Hollywood neighborhood—and, specifically, Irving Park—was analyzed.

ESA did not find any of the subject properties eligible under any of the applicable criteria at either the national, state, or local levels. Since 5600 Hollywood Boulevard and 5607 Carlton Way are not currently developed with buildings, they were not evaluated for potential eligibility as historical resources. Under Criterion A/1/1, ESA found that 5604-5606 Hollywood Boulevard was a two-story vernacular commercial building located along Hollywood Boulevard that lacked sufficient integrity to convey its significance as an example of arterial commercial development. Under Criterion B/2/2, there are no important persons associated with the subject property. Under Criterion C/3/3, ESA found that it is a simple vernacular building that lacks any distinctive design features that would make it significant under this criterion, and it also lacks integrity. Under Criterion D/4, the subject property is unlikely to reveal important information about prehistory or history.

ESA found that 1655 N. Saint Andrews Place was amongst the earlier multi-family residential developments in the Irving Park Tract; however, it was not the earliest, as that distinction goes to both 5611 Carlton Way and 1680 N. Wilton Place. Therefore, 1655 N. Saint Andrews Place is not considered trendsetting in terms of the development of the tract. Under Criterion B/2/2, there are no important persons associated with the subject property. Under Criterion C/3/3, the building does not appear to embody the distinctive characteristics of the Dingbat/Stucco Box property sub-type of Mid-Century Modern architecture such that it would qualify for listing under this criterion as several of the key characteristics associated with the Mid-Century Modern Dingbat/Stucco Box apartment building are not present. Nor does it possess high artistic value such that it would qualify for listing under this criterion. While it was designed by an architect—Josef Van Der Kar—he is not considered a master architect. Furthermore, it is not a notable example of his

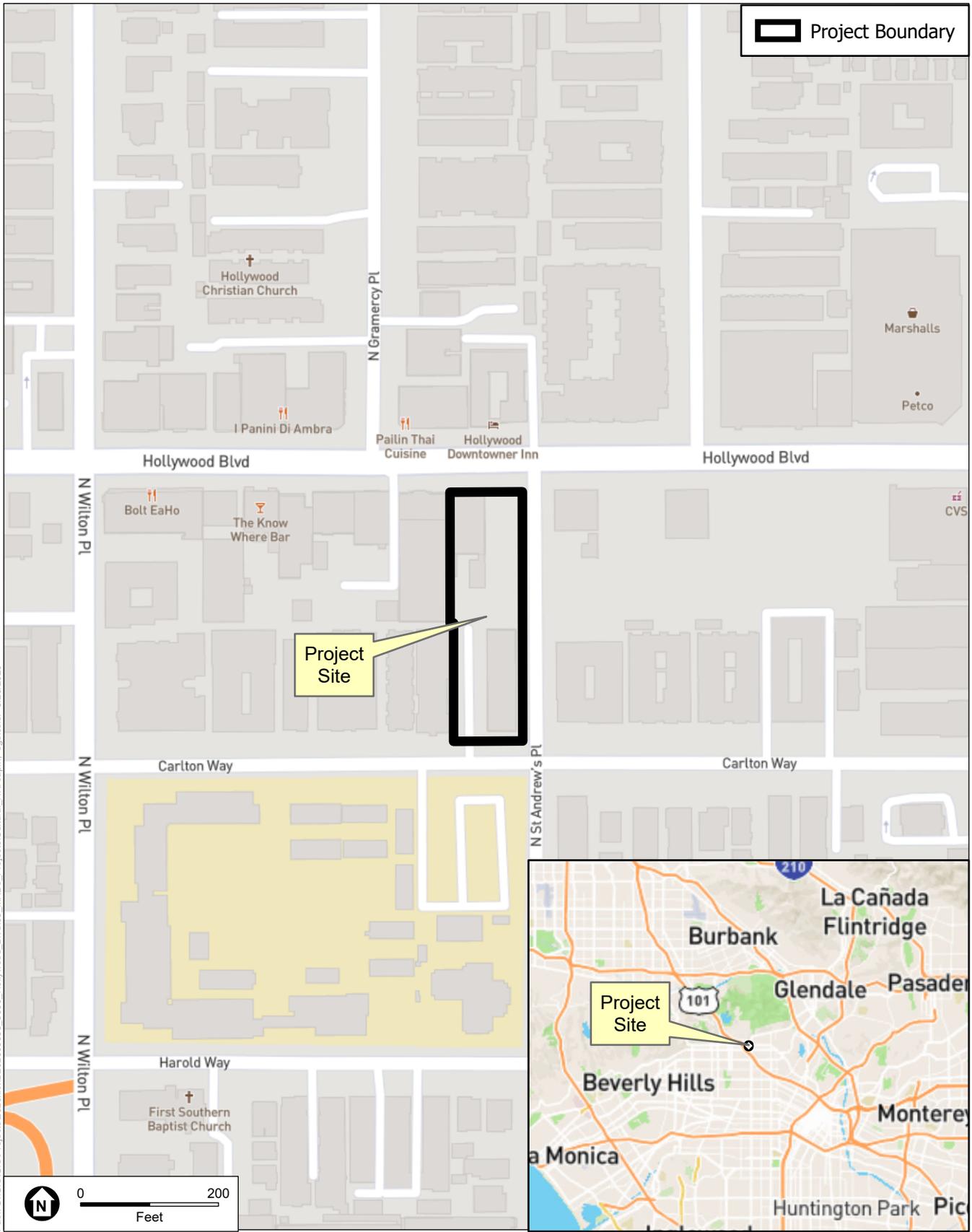
work. Therefore, 1655 N. St. Andrew Place does not appear to be significant under any of the applicable criteria, as described above. Additionally, ESA found that while the building retains integrity of location as well as fair integrity of setting, association, and feeling, the original design intent of the building was highly altered by the numerous new incompatible handrails added to the building in 1972, so that the building today has very low integrity of design. Moreover, alteration of the fenestration has substantially affected its integrity as many of the original sliding doors and windows appear to have been removed, although the exact number is not known due to the presence of plywood sheathing covering all of the exterior openings in which glazing previously existed. Therefore, given the alteration of nearly all railings and substantial changes to the fenestration, it also has low integrity of design, workmanship and materials. Finally, as an example of the Dingbat/Stucco Box property type in which decorative detailing in the way of signage, lighting and the articulation of materials was typically present, the building displays very little in the way of integrity of design, workmanship or materials as no decorative detailing remains extant today. Under Criterion D/4, the subject property is unlikely to reveal important information about prehistory or history.

As a result of this finding, ESA concludes that 5400-5606 Hollywood Boulevard and 1655 N. Saint Andrews Place appear to be ineligible as an individual resources or as contributors to a potential locally eligible district. Moreover, the impacts analysis conducted by ESA found that the proposed Project would not substantially degrade the visual setting or integrity of known historical resources within a 0.25-mile radius that have direct views of the Project including 5611 Carlton Way, located to the west and southwest of the subject property; 5601 Hollywood Boulevard and 5611 Hollywood Boulevard, which are both located to the north of the subject properties; 5618 Hollywood Boulevard (also known as the California Bank), located to the east and northeast of the subject property; and 5552 Carlton Way (also known as The Dunning House), which is located to the southeast of the subject properties. The Project's related new construction would conform overall to the applicable *Secretary of the Interior's Standards for the Treatment of Historic Properties* (Standards), 9 and 10, with respect to the historical resources that are adjacent or in close proximity to the Project.

Additionally, construction at the Project Site is not anticipated to generate vibrations strong enough to damage the historical resource that is immediately adjacent to the Project, as located at 5611 Carlton Way, or any of the other historical resources within a 0.25-mile radius of the Project. Therefore, the proposed Project would not result in a substantial adverse change to a historical resource as defined in Section 15064.5(b) of the CEQA Guidelines. Nonetheless, out of an abundance of caution, ESA is recommending a measure to monitor vibration levels to ensure they remain below the impact threshold of 0.2 in/sec PPV for protection of the adjacent historical resource, 5611 Carlton Way and 0.12 in/sec PPV for the other historical resources within the 0.25-mile radius. Generally, the potential for damage due to vibrations would only happen with heavy construction equipment at 26 feet away or less, and the historical resource located at 5611 Carlton Way is the only one of the five historical resources within the vicinity that has the potential to have heavy construction equipment located within this distance during implementation of the Project.

## 1.2 Project Location

The subject properties are located at 5600 Hollywood Blvd, 5604-5606 Hollywood Boulevard, 1655 N. Saint Andrews Place, and 5607 Carlton Way in the Hollywood neighborhood in the City of Los Angeles, as shown on **Figure 1**, *Regional and Project Vicinity Map*. As previously mentioned above, the subject property located at 5600 Hollywood is unimproved, and the subject property located at 5607 Carlton Way is improved with a concrete parking lot. The subject property located at 5604-5606 Hollywood Boulevard is improved with a two-story vernacular commercial building, and the subject property located at 1655 N. Saint Andrews is improved with a multi-family Mid-Century Modern Dingbat/Stucco Box apartment building. The locations of the subject properties is shown in **Figure 2**, *Aerial Photograph of Subject Properties*. 5600 and 5604-5606 Hollywood are oriented north towards Hollywood Boulevard, 1655 N. Saint Andrews Place is oriented east towards St. Andrews Place, and 5607 Carlton Way is oriented south towards Carlton Way. The properties surrounding the two subject properties located on Hollywood Boulevard are developed with commercial buildings and multi-family residences. The properties surrounding the two subject properties located on Carlton Way and St. Andrews Place are developed with multi-family residences.



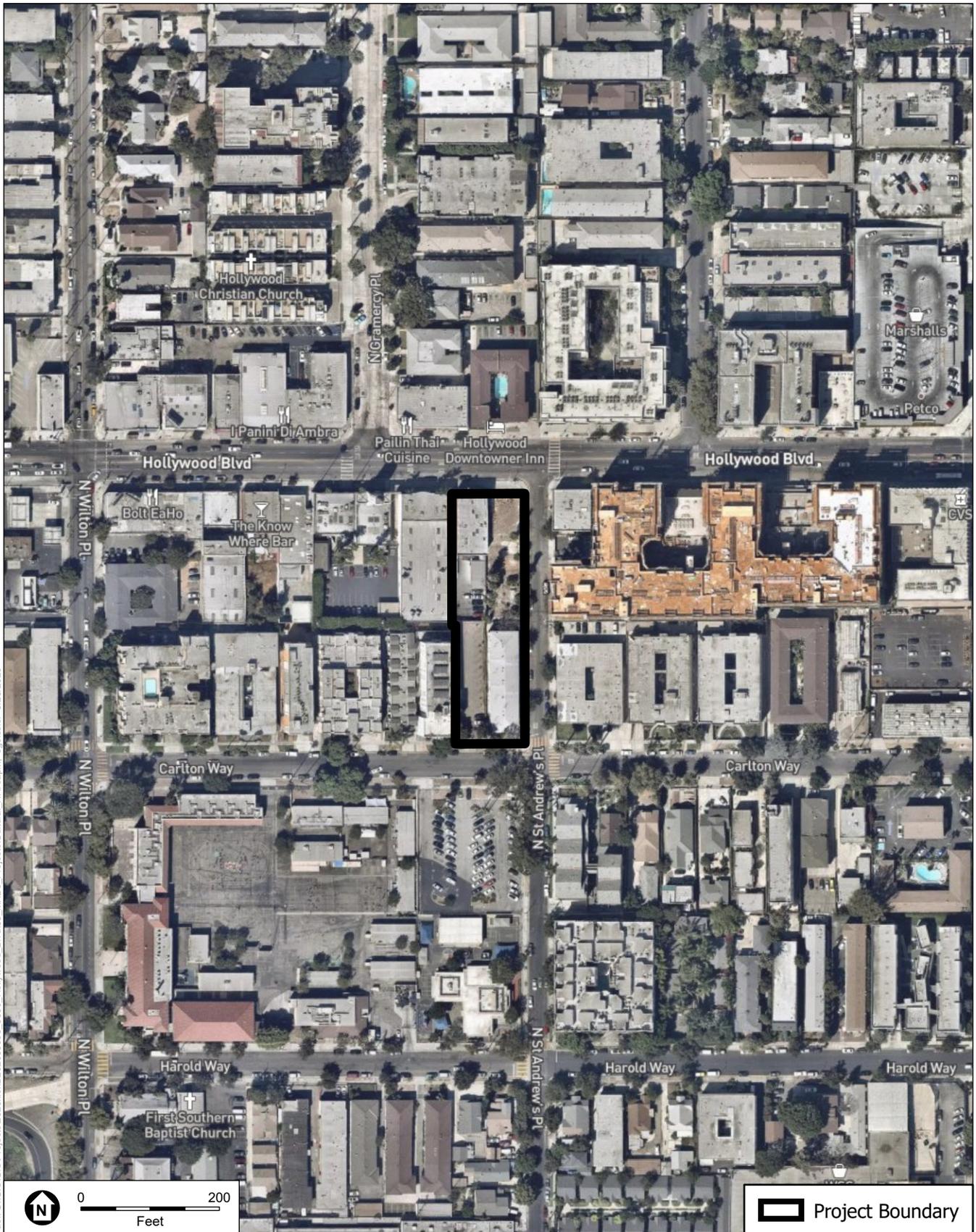
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SOURCE: Open Street Map, 2020.

5600 Hollywood Blvd SB 375 Exemption

**Figure 1**  
Regional and Project Vicinity Map





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SOURCE: Open Street Map, 2020.

5600 Hollywood Blvd SB 375 Exemption

**Figure 2**  
Aerial Photograph of Project Site



## 1.3 Research and Field Methodology

This Report was prepared by a team of ESA’s architectural historians—including Margarita Jerabek, Ph.D., Director of Historical Resources; Gabrielle Harlan, Ph.D., Senior Associate; and Hanna Winzenried, M.Sc., Associate—all of whom meet and exceed the *Secretary of the Interior’s Professional Qualification Standards* in history and architectural history. Professional qualifications are provided in **Appendix A**. Preparation of this Report involved a review of the National Register and its annual updates, the California Register, the HRI/BERD, SurveyLA findings, and the City of Los Angeles’s inventory of historic properties in order to identify any previously recorded properties within or near the subject property. An intensive-level pedestrian survey was also undertaken to document the existing conditions of the subject property and its vicinity. Additional tasks performed for the study are as follows:

- Conducted field inspections of the subject property and used the survey methodology of the State OHP.
- Photographed the subject property and associated landscape features, and examined other properties in the vicinity that exhibited potential architectural and/or historical associations.
- Conducted site-specific research on the property utilizing building permits, Sanborn Fire Insurance Maps (Sanborn Maps), City directories, historical photographs, Online Archive of California, Calisphere, Los Angeles Public Library digital collections and resources, University of Southern California (USC) Digital Collections, the historical *Los Angeles Times*, and other published sources.
- Conducted archival records search through the California Historical Resources Information System (CHRIS) at the South Central Coastal Information Center (SCCIC) located at California State University, Fullerton.
- Conducted research at the City’s Building and Safety and Planning departments, and reviewed the findings of SurveyLA.<sup>1</sup>
- Conducted a review of any previous evaluations of Project Site properties through historic survey or other official action.
- Reviewed and analyzed ordinances, statutes, regulations, bulletins, and technical materials relating to federal, state, and local historic preservation, designation assessment processes, and related programs.
- Evaluated potential historical resources based upon criteria used by the National Register, California Register, and City of Los Angeles Cultural Heritage Ordinance.
- Analysis and evaluation of any potential historical resources within approximately a one block radius of the Project Site.

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<sup>1</sup> It is also worth noting that the Community Redevelopment Agency’s surveys of the Hollywood area in 2010 and 2020 were also reviewed and that the findings of both of those surveys were officially adopted by and incorporated into SurveyLA, as the survey for the Hollywood Community Plan Area did not include the area surveyed for the Community Redevelopment Agency (i.e. there is no overlap in the SurveyLA survey and the Community Redevelopment Agency’s survey; instead, the findings work together in tandem). The reports may be found on the SurveyLA website here: <https://planning.lacity.org/preservation-design/historic-resources-survey>.

## 2.0 Regulatory Framework

Historical resources fall within the jurisdiction of the federal, state, and local designation programs. Federal laws provide the framework for the identification, and in certain instances, protection of historical resources. Additionally, state and local jurisdictions play active roles in the identification, documentation, and protection of such resources within their communities. The National Historic Preservation Act (NHPA) of 1966, as amended and the California Public Resources Code (PRC), Section 5024.1, are the primary federal and state laws and regulations governing the evaluation and significance of historical resources of national, state, regional, and local importance. Descriptions of these relevant laws and regulations are presented below.

### 2.1 Federal Eligibility Criteria and Integrity Aspects

#### National Register of Historic Places

The National Register was established by the NHPA as “an authoritative guide to be used by federal, state, and local governments, private groups and citizens to identify the Nation’s cultural resources and to indicate what properties should be considered for protection from destruction or impairment.”<sup>2</sup> The National Register recognizes properties that are significant at the national, state, and/or local levels.

To be eligible for listing in the National Register, a resource must be significant in American history, architecture, archaeology, engineering, or culture. Four criteria for evaluation have been established to determine the significance of a resource:

- A. Associated with events that have made a significant contribution to the broad patterns of our history;
- B. Associated with the lives of persons significant in our past;
- C. Embodies the distinctive characteristics of a type, period, or method of construction or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction;
- D. Yields, or may be likely to yield, information important in prehistory or history.<sup>3</sup>

Districts, sites, buildings, structures, and objects that are 50 years in age must meet one or more of the above criteria *and* retain integrity (that is, convey their significance) to be eligible for listing.

<sup>2</sup> 36 CFR Section 60.2.

<sup>3</sup> “Guidelines for Completing National Register Forms,” in National Register Bulletin 16, U.S. Department of Interior, National Park Service, September 30, 1986. This bulletin contains technical information on comprehensive planning, survey of cultural resources and registration in the NRHP.

Under the National Register, a property can be significant not only for the way it was originally constructed, but also for the way it was adapted at a later period, or for the way it illustrates changing tastes, attitudes, and uses over a period of time.<sup>4</sup>

Within the concept of integrity, the National Register recognizes seven aspects or qualities that, in various combinations, define integrity: Location, Design, Setting, Materials, Workmanship, Feeling, and Association:

*Location* is the place where the historic property was constructed or the place where the historic event occurred. The relationship between the property and its location is often important to understanding why the property was created or why something happened. The actual location of a historic property, complemented by its setting, is particularly important in recapturing the sense of historic events and persons. Except in rare cases, the relationship between a property and its historic associations is destroyed if the property is moved.

*Design* is the combination of elements that create the form, plan, space, structure, and style of a property. It results from conscious decisions made during the original conception and planning of a property (or its significant alteration) and applies to activities as diverse as community planning, engineering, architecture, and landscape architecture. Design includes such elements as organization of space, proportion, scale, technology, ornamentation, and materials. A property's design reflects historic functions and technologies as well as aesthetics. It includes such considerations as the structural system; massing; arrangement of spaces; pattern of fenestration; textures and colors of surface materials; type, amount and style of ornamental detailing; and arrangement and type of plantings in a designed landscape.

*Setting* is the physical environment of a historic property. Whereas location refers to the specific place where a property was built or an event occurred, setting refers to the *character* of the place in which the property played its historic role. It involves *how*, not just *where*, the property is situated and its relationship to surrounding features and open space.

*Workmanship* is the physical evidence of the crafts of a particular culture or people during any given period in history or prehistory. It is the evidence of artisans' labor and skill in constructing or altering a building, structure, object, or site. Workmanship can apply to the property as a whole or to its individual components.

*Materials* are the physical elements that were combined or deposited during a particular period of time and in a particular pattern or configuration to form a historic property.

The choice and combination of materials reveal the preferences of those who created the property and indicate the availability of particular types of materials and technologies. A property must retain key exterior materials dating from the period of its historic significance.

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<sup>4</sup> National Register Bulletin 15, p. 19.

*Feeling* is a property’s expression of the aesthetic or historic sense of a particular period of time. It results from the presence of physical features that, taken together, convey the property’s historic character.

*Association* is the direct link between an important historic event or person and a historic property. A property retains association if it is the place where the event or activity occurred and is sufficiently intact to convey that relationship to an observer.<sup>5</sup>

To retain historic integrity, a property will always possess most of the aspects and depending upon its significance, retention of specific aspects of integrity may be paramount for a property to convey its significance.<sup>6</sup> Determining which of these aspects are most important to a particular property requires knowing why, where and when a property is significant.<sup>7</sup> For properties that are considered significant under National Register Criteria A and B, *National Register Bulletin 15: How to Apply the National Register Criteria for Evaluation (National Register Bulletin 15)* explains, “a property that is significant for its historic association is eligible if it retains the essential physical features that made up its character or appearance during the period of its association with the important event, historical pattern, or person(s).”<sup>8</sup> In assessing the integrity of properties that are considered significant under National Register Criterion C, *National Register Bulletin 15* states, “a property important for illustrating a particular architectural style or construction technique must retain most of the physical features that constitute that style or technique.”<sup>9</sup>

## 2.2 State Register and Eligibility Criteria

### California Register of Historical Resources

The OHP, as an office of the California Department of Parks and Recreation, implements the policies of the NHPA on a statewide level.

The OHP also carries out the duties as set forth in the PRC and maintains the HRI and the California Register. The State Historic Preservation Officer (SHPO) is an appointed official who implements historic preservation programs within the state’s jurisdictions.

<sup>5</sup> *National Register Bulletin 15: How to Apply the National Register Criteria for Evaluation*, 44-45, <http://www.nps.gov/nr/publications/bulletins/pdfs/nrb15.pdf>, accessed July 7, 2013.

<sup>6</sup> The National Register defines a property as an “area of land containing a single historic resource or a group of resources, and constituting a single entry in the National Register of Historic Places.” A “Historic Property” is defined as “any prehistoric or historic district, site, building, structure, or object at the time it attained historic significance.” Glossary of National Register Terms, [http://www.nps.gov/nr/publications/bulletins/nrb16a/nrb16a\\_appendix\\_IV.htm](http://www.nps.gov/nr/publications/bulletins/nrb16a/nrb16a_appendix_IV.htm), accessed June 1, 2013.

<sup>7</sup> *National Register Bulletin 15*, 44.

<sup>8</sup> “A property retains association if it is the place where the event or activity occurred and is sufficiently intact to convey that relationship to an observer. Like feeling, association requires the presence of physical features that convey a property’s historic character. Because feeling and association depend on individual perceptions, their retention alone is never sufficient to support eligibility of a property for the National Register.” *Ibid*, p. 46.

<sup>9</sup> “A property that has lost some historic materials or details can be eligible if it retains the majority of the features that illustrate its style in terms of the massing, spatial relationships, proportion, pattern of windows and doors, texture of materials, and ornamentation. The property is not eligible, however, if it retains some basic features conveying massing but has lost the majority of the features that once characterized its style.” *Ibid*.

Also implemented at the state level, California Environmental Quality Act requires projects to identify any substantial adverse impacts that may affect the significance of identified historical resources.

The California Register was created by Assembly Bill 2881 which was signed into law on September 27, 1992. The California Register is “an authoritative listing and guide to be used by state and local agencies, private groups, and citizens in identifying the existing historical resources of the state and to indicate which resources deserve to be protected, to the extent prudent and feasible, from substantial adverse change.”<sup>10</sup> The criteria for eligibility for the California Register are based upon National Register criteria.<sup>11</sup>

The California Register consists of resources that are listed automatically and those that must be nominated through an application and public hearing process. The California Register automatically includes the following:

- California properties listed on the National Register and those formally determined eligible for the National Register.<sup>12</sup>
- California Registered Historical Landmarks from No. 770 onward.
- Those California Points of Historical Interest (PHI) that have been evaluated by the OHP and have been recommended to the State Historical Commission for inclusion on the California Register.<sup>13</sup>

Other resources which may be nominated to the California Register include:

- Individual historical resources.
- Historical resources contributing to historic districts.
- Historical resources identified as significant in historical resources surveys with significance ratings of Category 1 through 5.
  - Historical resources designated or listed as local LAHCMs, or designated under any local ordinance, such a Historic Preservation Overlay Zone (HPOZ).<sup>14</sup>

To be eligible for the California Register, a historical resource must be significant at the local, state, or national level, under one or more of the following four criteria:

1. Is associated with events that have made a significant contribution to the broad patterns of California's history and cultural heritage.
2. Is associated with the lives of persons important in our past.
3. Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values.

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<sup>10</sup> PRC Section 5024.1(a).

<sup>11</sup> PRC Section 5024.1(b).

<sup>12</sup> PRC Section 5024.1(d).

<sup>13</sup> PRC Section 5024.1(d).

<sup>14</sup> PRC Section 5024.1(e)

4. Has yielded, or may be likely to yield, information important in prehistory or history.

Additionally, a historical resource eligible for listing in the California Register must meet one or more of the criteria of significance described above and retain enough of its historic character or appearance to be recognizable as a historical resource and to convey the reasons for its significance. Historical resources that have been rehabilitated or restored may be evaluated for listing. Integrity is evaluated with regard to the retention of seven aspects of integrity similar to the National Register (location, design, setting, materials, workmanship, feeling, and association). Also like the National Register, it must also be judged with reference to the particular criteria under which a resource is proposed for eligibility. Alterations over time to a resource or historic changes in its use may themselves have historical, cultural, or architectural significance. It is possible that historical resources may not retain sufficient integrity to meet the criteria for listing in the National Register, but they may still be eligible for listing in the California Register. A resource that has lost its historic character or appearance may still have sufficient integrity for the California Register if it maintains the potential to yield significant scientific or historical information or specific data.<sup>15</sup>

## 2.3 Local Cultural Heritage Ordinance and Eligibility Criteria City of Los Angeles

The City enacted a Cultural Heritage Ordinance in April 1962 that defines Historic-Cultural Monuments. According to the Cultural Heritage Ordinance, Historic-Cultural Monuments are sites, buildings, or structures of particular historic or cultural significance to the City in which the broad cultural, political, or social history of the nation, state, or City is reflected or exemplified, including sites and buildings associated with important personages or which embody certain distinguishing architectural characteristics and are associated with a notable architect. These Historic-Cultural Monuments are regulated by the City's Cultural Heritage Commission and the City Council.

### ***Los Angeles Cultural Heritage Ordinance Eligibility Criteria***

The Los Angeles City Council adopted the Cultural Heritage Ordinance in 1967 and amended it in 2018 (Los Angeles Administrative Code, Chapter 9, Division 22, Article 1, Section 22.171.7). The Cultural Heritage Ordinance establishes criteria for designating a local historical resource as an LAHCM. An LAHCM is any site (including significant trees or other plant life located on the site), building, or structure of particular historic or cultural significance to the City that meets at least one of the following criteria:

1. Is identified with important events of national, state, or local history, or exemplifies significant contributions to the broad cultural, economic, or social history of the nation, state, city, or community.
2. Is associated with the lives of historic personages important to national, state, city or local history.

<sup>15</sup> Codified in California Code of Regulations, Title 14, Chapter 11.5, Section 4852(c) which can be accessed on the internet at <http://ohp.parks.ca.gov>

3. Embodies the distinctive characteristics of a style, type, period, or method of construction; or represents a notable work of a master designer, builder, or architect whose individual genius influenced his or her age.

### ***Los Angeles Historic Preservation Overlay Zone Ordinance Eligibility Criteria***

City of Los Angeles Ordinance Number 175891, found in Section 12.20.3 of the Los Angeles Municipal Code, describes the procedures for creation of new HPOZs, the powers and duties of HPOZ Boards, and the review processes for projects within HPOZs. The Ordinance was created in 1979 and most recently amended and re-adopted by the Los Angeles City Council in 2017.<sup>16</sup> An HPOZ is an area of the City which is designated as containing structures, landscaping, natural features or sites having historic, architectural, cultural or aesthetic significance. Before an HPOZ may move into the formal adoption process, an historic resources survey of the proposed district must be completed. The survey studies the historic and architectural significance of the neighborhood and identifies structures and features as either “contributing” or “non-contributing” to the district. A contributing structure is a building that was constructed during the predominant period of development in the neighborhood and that has retained most of its historic features. A non-contributing structure is one that was either constructed after the major period of the neighborhood’s development, or has been so significantly altered that it no longer conveys its historic character.<sup>17</sup>

According to Section 12.20.3 of the City of Los Angeles Municipal Code, features designated as contributing shall meet one or more of the following criteria:

- Adds to the Historic architectural qualities or Historic associations for which a property is significant because it was present during the period of significance, and possesses Historic integrity reflecting its character at that time.
- Owing to its unique location or singular physical characteristics, represents an established feature of the neighborhood, community or city.
- Retaining the building, structure, Landscaping, or Natural Feature, would contribute to the preservation and protection of the resource and its environment.<sup>18</sup>

<sup>16</sup> “Citywide HPOZ Ordinance,” City of Los Angeles Office of Historic Resources, <http://www.preservation.lacity.org/hpoz/citywide-hpoz-ordinance>, accessed July 24, 2013.

<sup>17</sup> “How to Establish an HPOZ,” City of Los Angeles Office of Historic Resources, <http://www.preservation.lacity.org/hpoz/how-establish-hpoz>, accessed July 24, 2013.

<sup>18</sup> “Citywide HPOZ Ordinance,” City of Los Angeles Historic Resources, <http://www.preservation.lacity.org/hpoz/citywide-hpoz-ordinance>, accessed July 24, 2013, pgs. 11-12.

## 3.0 Identification of Potential Historical Resources within the Subject Property and Surrounding Area

### 3.1 Previous Evaluations of the Subject Property

The subject properties have not been previously evaluated by SurveyLA for their potential as historical resources. Instead, they were surveyed and evaluated by the Community Redevelopment Agency (CRA) of the City of Los Angeles in 2010, utilizing the methodology of SurveyLA. However, they were not identified by the CRA as potentially significant. Furthermore, they are not included as resources in either the HRI/BERD.

### 3.2 Archival Research

#### Methods

A records search for the proposed project was conducted by SCCIC staff on July 17, 2020 at the California Historical Resources Information System's South Central Coastal Information Center (SCCIC) housed at California State University, Fullerton. The records search included a review of all previously documented historic architectural resources and studies within a 0.25-mile radius of the Project Site and archaeological resources within or immediately adjacent to the Project Site. The records search also included a review of listings for the National Register, California Register, California Points of Historical Interest, California Historical Landmarks, California State Historic Resources Inventory, and Los Angeles Historic-Cultural Monuments.

#### Results

##### *Previous Cultural Resources Investigations*

The records search results indicate that 21 cultural resources studies have been conducted within a 0.25-mile radius of the Project Site (**Table 1**). Of the 21 previous studies, one (LA-11797) included the entirety of the Project Site and is relevant to the Project. This study is discussed in detail following the table.

**TABLE 1**  
**PREVIOUS CULTURAL RESOURCES INVESTIGATIONS ON FILE AT SCCIC**

Author	SCCIC # (LA-)	Title	Year
Duke, Curt	LA-05347	<i>Cultural Resource Assessment for At&amp;t Wireless Services Facility Number R318.1, County of Los Angeles, California</i>	2001
Rachlin, Michael	LA-06157	<i>Historic Structure Assessment Report for the Proposed New Fire Station No. 82</i>	2002
Duke, Curt and Marvin, Judith	LA-06456	<i>Cultural Resource Assessment Cingular Wireless Facility No. Sm 196-03 Los Angeles County, California</i>	2002
Bonner, Wayne H.	LA-07342	<i>Cultural Resource Records Search and Site Visit Results for Sprint Ocs Facility Candidate La35xc8191 (holly Tree), 1671 North Western Avenue, Los Angeles, Los Angeles County, California</i>	2005

Author	SCCIC # (LA-)	Title	Year
Bonner, Wayne H. and Christeen Taniguchi	LA-07343	<i>Records Search Results and Site Visit for Sprint Telecommunications Facility Candidate La35xc819h (holly Tree) 5500 Hollywood Boulevard, Los Angeles, Los Angeles County, California</i>	2004
Taniguchi, Christeen	LA-07377	<i>Records Search Results and Site Visit for Sprint Telecommunications Facility Candidate La40xc876e (smoke) 1522 Van Ness Avenue, Los Angeles, Los Angeles County, California</i>	2003
Greenwood, Roberta S.	LA-07562	<i>Additional Information for Dseis, Core Study Alignments 1, 2, 3, 4, and 5</i>	1987
Unknown	LA-07565	<i>Technical Report Archaeology Los Angeles Rail Rapid Transit Project "Metro Rail" Core Study, Candidate Alignments 1 to 5</i>	1987
Hatheway, Roger G. and Peter, Kevin J.	LA-07566	<i>Technical Report Dseis, Core Study Alignments 1, 2, 3, 4, and 5</i>	1987
Bonner, Wayne H. and Christeen Taniguchi	LA-08007	<i>Indirect Ape Historic Architectural Assessment Results for Sprint Telecommunications Facility Candidate La40xc876e (smoke) 1522 Van Ness Avenue, Los Angeles, Los Angeles County, California</i>	2004
Anonymous	LA-08020	<i>Technical Report: Cultural Resources Los Angeles Rail Rapid Transit Project "metro Rail" Core Study</i>	1987
Gust, Sherri and Heather Puckett	LA-08251	<i>Los Angeles Metro Red Line Project, Segments 2 and 3 Archaeological Resources Impact Mitigation Program Final Report of Findings</i>	2004
Cameron, David G.	LA-08305	<i>1514-1544 North St. Andrews Place</i>	1987
Wlodarski, Robert J.	LA-09404	<i>Proposed Bechtel Wireless Telecommunications Site LAR318 (Hollywood/Western) Located at 5500 Hollywood, California, 90028</i>	2008
Stewart, Noah M.	LA-10149	<i>Finding of no adverse effect: US 101 from Alameda Street Underpass to Barham Boulevard Overcrossing</i>	2009
Bonner, Wayne H. and Kathleen A. Crawford	LA-10276	<i>Cultural Resources Records Search and Site Visit Results for AT&amp;T Mobility, LLC Candidate LAR535 (101 Freeway/ Sunset Blvd), 1522 North Van Ness Ave., Los Angeles, Los Angeles County, CA.</i>	2009
Bonner, Wayne	LA-10406	<i>Direct APE Historic Architectural Assessment for Sprint Telecommunications Facility Candidate LA35XC8191 (Holly Tree), 1671 North Western Avenue, Los Angeles, Los Angeles County, California</i>	2005
*Chattel, Robert	LA-11797	<i>Historic Resources Survey Hollywood Redevelopment Project Area</i>	2010
Bonner, Wayne	LA-12017	<i>Cultural Resources Records Search and Site Visit Results for T-Mobile West, LLC Candidate SV11061C (Carlton Way Apartment), 5738 Carlton Way, Los Angeles, Los Angeles County, California</i>	2012
Bonner, Wayne and Crawford, Kathleen	LA-12158	<i>Cultural Resources Records Search and Site Visit Results for T-Mobile West, LLC Candidate LA03196A (SM196 St. Francis Hotel) 5533 Hollywood Boulevard, Los Angeles, Los Angeles County, California</i>	2012
Brunzell, Dave	LA-12672	<i>Cultural Resource Assessment of the Maye Building at 5500 Hollywood Boulevard, Los Angeles, Los Angeles County, California (BCR Consulting Project No. ACE1403)</i>	2015
*Relevant previous study Source: SCCIC, 2020			

**LA-11797**

This study, which was prepared in 2010, included the preparation of a historic context statement and intensive-level survey for the Community Redevelopment Agency of the City of Los Angeles – Hollywood Redevelopment Project Area (Hollywood CRA).<sup>19</sup> The report indicates that the Hollywood CRA had been surveyed previously three times prior to the preparation of the study: 658 properties were surveyed in 1986, 808 properties were surveyed in 1997 (although no DPR forms were prepared), and 1019 properties were surveyed in 2003. While the two subject properties are located within the Hollywood Redevelopment Area, neither of them were identified as potentially eligible in the 2010 study.

***Previously Recorded Cultural Resources***

According to the SCCIC files, 21 historic architectural resources have been previously recorded within a 0.25-mile radius of the Project Site (**Table 2**). No archaeological resources have been previously recorded within or adjacent to the Project Site.

One historic architectural resource (P-19-190048) has been previously recorded as overlapping with the Project Site, and is described in detail following the table. Other adjacent resources are also discussed following the table.

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<sup>19</sup> Chattel Architecture, Planning & Preservation, Inc., “Historic Resources Survey: Hollywood Redevelopment Project Area,” prepared for Community Redevelopment Agency, February 2010.

**TABLE 2  
PREVIOUSLY RECORDED HISTORIC ARCHITECTURAL RESOURCES ON FILE AT SCCIC**

Primary Number (P-19-)	OHP Property Number	Address	Resource Type	*Resource Attribute/Resource Description	Date Recorded	*CHR Status Code	Approx. Distance from Project Site
P-19-167072	021011	Hollywood-Western Bldg., Mayer Bldg. "5500-5510 Hollywood Blvd Los Angeles; 5504 Hollywood Blvd Los Angeles"	Building	HP07 (3+ story commercial building); HP95	"1976 (Tom Sitton, Natural History Museum); 1994 (Christy J. McAvoy, Historic Resources Group); 2009 (Samir Srivastava, ABS Mayer Bricker, LLC)"	5S1	535 ft E
P-19-167087	021028	Hollywood Beverly Christian Church 1717 N Gramercy Pl Los Angeles	Building	HP16 (Monument/mural/gravestone); HP99	1976 (Dennis Smith, Tom Sitton, NHM)	-	378 ft NW
P-19-167527	021495	Street Lights Hollywood Blvd (scattered) Los Angeles	Object	HP39 (other)	1979 (D. Miller & C. Johnson, Hollywood Revitalization Committee)	-	5 ft N
P-19-167787	021759	Dunning House 5552 Carlton Way Los Angeles	Building, Element of district	HP02 (Single-family property)	-	5S1	72 ft S
P-19-167817	021790	5540 Hollywood Blvd 5540 Hollywood Blvd Los Angeles (APN 5544-025-013)	Building	HP03 (Multiple family property)	"1979 (D. Miller & C. Johnson, Hollywood Revitalization); 1986 (S. Bourstein, SCRTD)"	-	175 ft E
*P-19-167818	021791	California Bank 5618-28 Hollywood Blvd Los Angeles (APN 5544-026-006)	Building	HP06 (1-3 story commercial building)	1986 (Sharon Bourstein, SCRTD)	2S2	65 ft W
P-19-167819	021792	5647-53 Hollywood Blvd 5647-53 Hollywood Blvd Los Angeles (APN 5544-002-025)	Building	HP06 (1-3 story commercial building)	1986 (S. Bourstein, SCRTD)	-	353 ft W
P-19-167820	021793	Escrow Center 5701 Hollywood Blvd Los Angeles (APN 5586-034-018)	Building	HP06 (1-3 story commercial building)	1986 (S. Bourstein, SCRTD)	-	527 ft W

Primary Number (P-19-)	OHP Property Number	Address	Resource Type	*Resource Attribute/Resource Description	Date Recorded	*CHR Status Code	Approx. Distance from Project Site
P-19-167821	021794	Hollywood Sports Cars 5766 Hollywood Blvd Los Angeles 90028 (APN 5586-035-002)	Building	HP06 (1-3 story commercial building)	"1979 (Christy Johnson, Hollywood Revitalization); 1986 (S. Bourstein, SCRTD)"	-	1,038 ft W
P-19-167825	021789	Grant Elementary School 1530 Wilton Pl Los Angeles	Building	HP15 (Educational building)	1995	-	374 ft SW
P-19-173426	064895	Hollywood Professional School 5400 Hollywood Blvd Los Angeles (APN 5544-021-020)	Building	HP15 (Educational building)	1986 (S. Bourstein, SCRTD)	-	1,205 ft E
P-19-175191	097013	Bricker Bldg. 1671 N Western Ave Los Angeles 90027	Building	HP07 (3+ story commercial building)	2005 (K. Crawford)	1S	521 ft E
P-19-176338	100951	Serrano District "1516 N Serrano Ave Los Angeles; 1537 N Serrano Ave Los Angeles; 1544 N Serrano Ave Los Angeles; 1551 N Serrano Ave Los Angeles; 1554 N Serrano Ave Los Angeles; 1557 N Serrano Ave Los Angeles; 1563 N Serrano Ave Los Angeles; 1610 N Serrano Ave Los Angeles; 1622 N Serrano Ave Los Angeles; 1634 N Serrano Ave Los Angeles; 1638 N Serrano Ave Los Angeles; 1650 N Serrano Ave Los Angeles; 1536 N Serrano Ave Los Angeles; 1600 N Serrano Ave Los Angeles; 1608 N Serrano Ave Los Angeles; 1616 N Serrano Ave Los Angeles"	District	-	1979 (Miller, Denver and Christy Johnson, Hollywood Revitalization Committee)	-	1,184 ft E
P-19-186730	137691	St Francis Hotel 5533 Hollywood Blvd Los Angeles	Building	HP05 (Hotel/motel)	2002 (J. Marvin, K. Harper, LSA)	-	298 ft E
P-19-187040	-	1749 Garfield Pl 1749 Garfield Pl Los Angeles	Building	HP02 (Single-family property)	1997 (C. McAvoy, HRG)	-	509 ft N

Primary Number (P-19-)	OHP Property Number	Address	Resource Type	*Resource Attribute/Resource Description	Date Recorded	*CHR Status Code	Approx. Distance from Project Site
P-19-187437	-	LA40XC876E-Sprint Telecommunications Candidate 5805 Harold Way Los Angeles 90028	Building	HP03 (Multiple family property)	2004 (C. Hetzel)	-	1,307 ft SW
P-19-189999	112433	St Andrews Bungalow Ct "1514 N St Andrews Pl Los Angeles; 1516 N St Andrews Pl Los Angeles; 1518 N St Andrews Pl Los Angeles; 1520 N St Andrews Pl Los Angeles; 1522 N St Andrews Pl Los Angeles; 1524 N St Andrews Pl Los Angeles; 1526 N St Andrews Pl Los Angeles; 1528 N St Andrews Pl Los Angeles; 1532 N St Andrews Pl Los Angeles; 1534 N St Andrews Pl Los Angeles; 1536 N St Andrews Pl Los Angeles; 1538 N St Andrews Pl Los Angeles; 1540 N St Andrews Pl Los Angeles; 1542 N St Andrews Pl Los Angeles; 1544 N St Andrews Pl Los Angeles"	District	HP03 (Multiple family property)	1997 (Teresa Grimes, Historic Resources Group)	1S	641 ft S
*P-19-190048	129206	Harold Way, Carlton Way, & St Andrews Pl District "1500 block of St Andrews Pl Los Angeles; 5600-5700 blocks of Carlton Way Los Angeles; 5500-5600 blocks of Harold Way Los Angeles"	District	HP02 (Single-family property); HP03 (Multiple family property)	1979 (Denver Miller, Christy Johnson, Hollywood Revitalization Committee)	-	1655 St. Andrews located within district
*19-167713	424421	5611 W. Hollywood Blvd	Building	HP06 (1-3 story commercial building)	3/3/2020, BERD	2S2	62 ft N
N/A	514264	Hollywood Downtowner Inn 5601 W. Hollywood Blvd.	Building	HP05 (Hotel/motel)	3/3/2020, BERD	2S2	62 ft N
*19-167769	424477	5611 Carlton Way	Building	HP03 (Multiple-family property)	3/3/2020, BERD	7N	Directly W

Source: SCCIC, 2020

### **P-19-190048 (The Carlton/Harold Way/St. Andrews Grouping)**

Resource P-19-190048 is the Carlton/Harold Way/St. Andrews Grouping and encompasses the 1500 block of St. Andrews, 5700 and 5600 blocks of Carlton and the 5500 and 5600 blocks of Harold Way. It was recorded by the Hollywood Revitalization Committee, Inc. in 1979.<sup>20</sup> The resource consists of various building styles that were popular during the first 30 years of the twentieth century. According to the site record, the resource is an excellent example of residential styles during the early period of Hollywood's development. As part of the survey, the subject property located at 1655 St. Andrews was identified as part of this resource. However, it appears that the address listed on the 1979 survey was an error, as the building described as existing at that address was stated to be a 1917 two-story Craftsman duplex, rather than the three story Mid-Century Modern Dingbat/Stucco Box apartment building that was on existence at this address since 1957.

### **P-19-167818 (California Bank)**

The California Bank (5618 W. Hollywood Blvd. is an Art Deco commercial building constructed in 1930. It is a roughly rectangular single-story building that faces north towards Hollywood Boulevard that has an off-centered Art Deco style tower. There are eight bays with pilasters on either side. The east bay is a carport that leads to rear parking. There are two similar bays on either side of the third tower bay with storefront windows framed in metal. There is a main entry door under the tower with bas-relief details above. Four additional bays are located to the west with matching larger fixed storefront windows (**Figure 3**). The California Bank was owned by a company of the same name (i.e. California Bank) and the architects for the building were John and Donald Parkinson and the contractor was Paul E. Wylie.<sup>21</sup> John and Donald Parkinson are important local architects who "helped define the look of pre-World War II Los Angeles."<sup>22</sup> Early in John's career, he worked in Beaux Arts Classicism; however, when Donald joined the firm, the duo switched to the Art Deco style, the works of which include the California Bank. Some of their best-known works include the Bullock's Wilshire department store, Saks Fifth Avenue, the Los Angeles Memorial Coliseum, Los Angeles Union Station, and Los Angeles City Hall. The California Bank was altered in 1994 after the Northridge Earthquake in order to repair structural damage to exterior walls and the tower structure.<sup>23</sup> From observing historical Sanborn maps, it does not appear as though the building footprint has been altered significantly from the time of its construction, although it does appear that there are some additions to the rear (**Figure 4**). The Built Environment Resources Directory (BERD) gives the building a status code of 2S2 meaning that it is individually determined eligible for the National Register by consensus through the Section 106 process as well as being listed in the California Register.

<sup>20</sup> Denver Miller and Christy Johnson, "1500 Block of St. Andrews, 5700 and 5600 blocks of Carlton and 5500 and 5600 blocks of Harold Way," 1979.

<sup>21</sup> Los Angeles Building Permit No. 4508, issued March 3, 1930.

<sup>22</sup> "John Parkinson," *Los Angeles Conservancy*, accessed September 30, 2020, <https://www.laconservancy.org/architects/john-parkinson>.

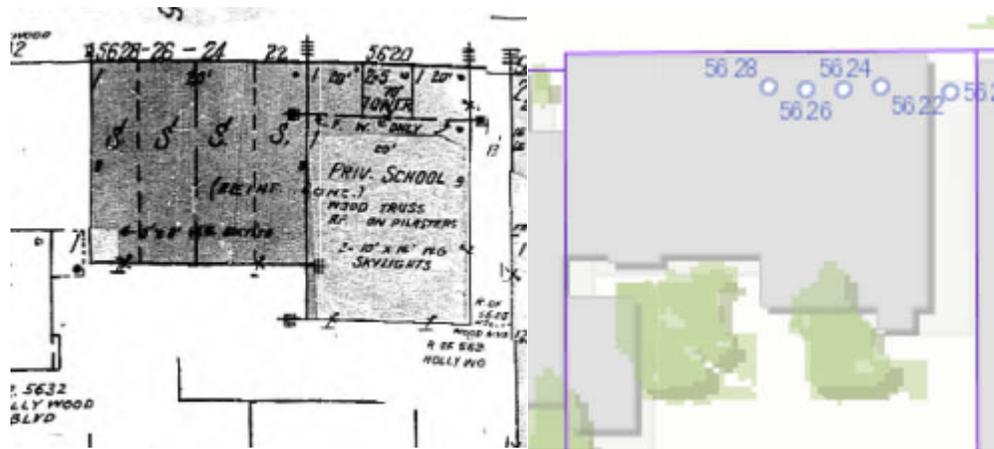
<sup>23</sup> Los Angeles Building Permit No. 36891, issued March 16, 1994.



5600 Hollywood Boulevard HRA/ 202000095.00

SOURCE: ESA, 2020

**Figure 3**  
A view of the north (primary) façade of the California Bank Building, view facing southwest



5600 Hollywood Boulevard HRA/ 202000095.00

SOURCE: EDR; Los Angeles County Assessor

**Figure 4**  
A comparison of the historic footprint of the California Bank Building, as seen in a 1950 Sanborn map (left) with the current LA County Assessor map (right) indicates that there may be some additions to the rear of the building.

**19-167713, 5611 W. Hollywood Boulevard**

There are two buildings located at this address. The first building was constructed in 1913 as an apartment house by contractor Waukeek Building Co., and it was owned by J.S. Upson.<sup>24</sup> The

<sup>24</sup> Los Angeles Building Permit No. 2417, issued February 21, 1913.

second building built on the site was constructed in 1922 in the Renaissance Revival style. It is a block of stores, which was built to front onto West Hollywood Boulevard so that the first building on the site was obscured from view from the south (i.e. from Hollywood Boulevard). On the south (primary) façade of the second building, there are six bays of storefronts (altered) on the first floor. On the second floor, there are wood casement windows, although it appears as though some of the windows have been replaced. Every other window has a decorative window surround that appears to be original. The southwest corner is chamfered and has an additional door with a decorative window on the second story (**Figure 5**). The building was owned by Mr. S. Goodman, who also worked as the contractor, and it was designed by Henry Charles Deckbar.<sup>25</sup> Deckbar was an Los Angeles-based architect who worked from 1912 to 1938. His works include the Crown Apartments in Pasadena; the Masonic Building; University Lodge, Los Angeles; and the Trinity Hotel and Auditorium Building in downtown Los Angeles.<sup>26</sup> It appears as though some of the store fronts on the first floor and some of the second story windows have been replaced. Based on observations of the 1950 Sanborn map produced for the area, it does not appear as though the building has undergone any alterations to its footprint (**Figure 6**). The BERD gives the building a status code of 2S2 meaning that it is individually determined eligible for the National Register by consensus through the Section 106 process as well as being listed in the California Register.

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<sup>25</sup> Los Angeles Building Permit No. 16077, issued May 11, 1922.

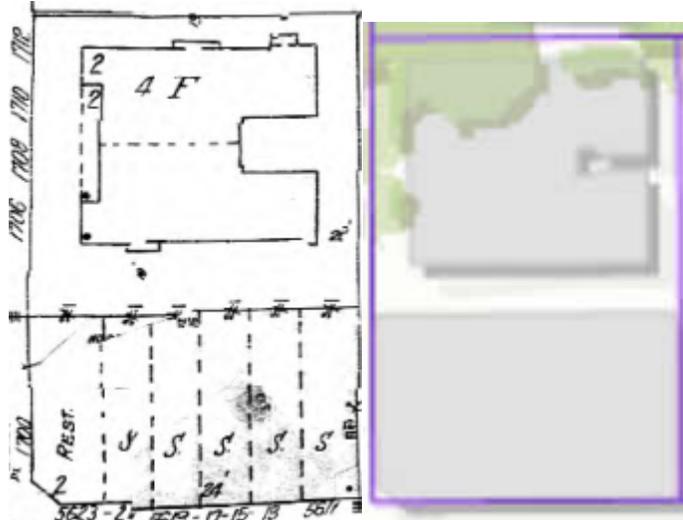
<sup>26</sup> “Harry Charles Deckbar (Architect), *PCAD*, accessed September 30, 2020, <http://pcad.lib.washington.edu/person/169/>.



5600 Hollywood Boulevard HRA/ 202000095.00

SOURCE: ESA, 2020

**Figure 5**  
A view of the south (primary) façade of the second building constructed on the property at 5611 W. Hollywood Boulevard, which faces onto the boulevard, view facing north



5600 Hollywood Boulevard HRA/ 202000095.00

SOURCE: EDR; Los Angeles County Assessor

**Figure 6**  
A comparison of the footprints of the two buildings constructed on the property at 5611 W. Hollywood as they existed in 1950 when recorded on a Sanborn (left) with their appearance today as shown on a current LA County Assessor map (right). The second building constructed on the property, which faces onto Hollywood Boulevard, appears to retain its original footprint.

### Hollywood Downtowner Inn, 5601 W. Hollywood Blvd

The Hollywood Downtowner Inn was built in 1956 in the Mid-Century Modern style. The inn faces south so that it fronts on to Hollywood Boulevard. It features a central courtyard with a pool; hotel rooms surround and face the central courtyard. It features some Googie details such as a dramatic sweeping roofline and a large neon sign at the front. It has stone and brick siding (**Figure 7**). At the time of its construction, it was owned by Anthony Collazo, designed by Jack Chernoff, and engineering was provided by W. Tom.<sup>27</sup> The architect, Jack Chernoff, was best known during this period not for his motel designs, but instead, for his designs of dingbat apartment buildings. To developers, he was known as “Packin Jack” because he [could] get more units on a lot than anybody else in the field.”<sup>28</sup> However, he did build at least one other motel structure in the 1950s, a 54-unit motel in Stockton that was built two years after the construction of the Hollywood Downtowner Inn, in 1958,<sup>29</sup> Through study of the Sanborn map that was published for the Hollywood area in 1957, it appears that the original footprint of the building remains intact (**Figure 8**). Moreover, the BERD gives the building a status code of 2S2, meaning that it is individually determined eligible for the National Register by consensus through Section 106 process and it is also listed in the California Register. In the survey entitled *Historic Resources Survey, Hollywood Redevelopment Project Area* that was conducted for the Community Redevelopment Agency in 2020, the building was given the status codes of 3CS and 5S3 under the contexts commercial motel and Mid-Century Modernism. These two status codes mean, respectively, that it appears eligible for the California Register through survey evaluation and that it appears to be eligible for local listing or designation through survey evaluation. Since the building is already listed on the California Register due to a previous determination of eligibility, the survey simply confirms that it still appears to retain adequate integrity to convey its significance as a California Register-listed resource.

<sup>27</sup> Los Angeles Building Permit No. 52762, issued on September 12, 1956.

<sup>28</sup> As quoted in Liz Falletta, *By Right, By Design: Housing Development versus Housing Design in Los Angeles* (New York: Routledge, 2020), n.p.; for more information on Chernoff’s dingbat apartment designs, see also John Chase, *Glitter Stucco and Dumpster Diving: Reflections on Building Production in the Vernacular City* (New York: Verso, 2004), 12-14.

<sup>29</sup> “Modern New Motel Rises in Stockton,” *Western Architect and Engineer*, vol. 212-215, 1958, p. 47.

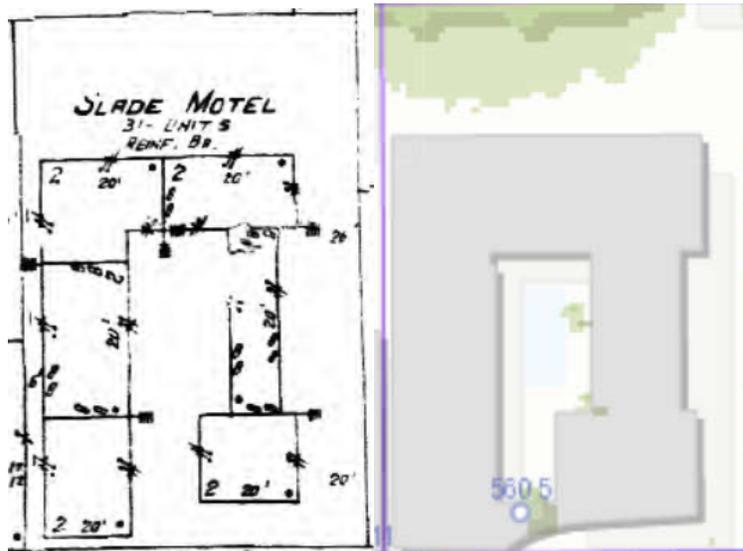


5600 Hollywood Boulevard HRA/ 202000095.00

SOURCE: ESA, 2020

**Figure 7**

A view of the south (primary) façade of Hollywood Downtowner Inn, view facing north



5600 Hollywood Boulevard HRA/ 202000095.00

SOURCE: EDR; Los Angeles County Assessor

**Figure 8**

A comparison of the footprint of the Hollywood Downtowner Inn as it appeared one year after its original construction, as shown on a 1957 Sanborn map (left) with its appearance today, as shown on the current LA County Assessor map (right). Based upon the building's footprint, it appears to retain its original configuration.

### 19-167769, 5611 Carlton Way

This apartment building, as executed in the Art Deco style, was constructed in 1930 (**Figure 9**). It is five stories tall and has three bays, and as denoted on a 1950 Sanborn map, it is constructed of reinforced concrete (**Figure 10**). The west bay features an entrance to an underground parking lot. The middle bay contains the main entrance to the interior of the building, and the east bay has a large wood fixed window. The bays on either side of the central primary bay feature Art Deco decorative features such as pilasters and bas reliefs with casement windows. The central bay is less architecturally articulated than the two bays that flank it; the ground floor, which contains the primary entrance, has what appears to be a decorative cast stone door surround. The floors above the ground floor, however, are much more spare in their decorative treatment. Each level has two casement windows that flank a centrally-placed arched door opening. This door opening provides access to an exterior fire escape balcony with decorative railings.

At the time of its construction, the building was owned by Raymond O'Brian, designed by O. Schiller and E.J. Davis, and built by C.C. Overpeck.<sup>30</sup> No information is available about the architects. The building appears to remain intact with a high level of integrity the footprint of the building also remains unchanged since the 1950 Sanborn map for the area was published, meaning that it does not appear to have any alterations to its exterior. Today, the BERD gives the building a status code of 7N meaning that the building needs to be reevaluated. However, the status codes were updated in 2003, and prior to this date, the building was given the code of 4 meaning that it was potentially eligible for listing on the National Register. In the survey of the Hollywood area that was conducted for the Community Redevelopment Agency in 2020, which was entitled *Historic Resources Survey, Hollywood Redevelopment Project Area*, the building was given the status codes of 3S; 3CS; and 5S3 under the contexts of apartment houses and Art Deco. The 3S means that it appears individually eligible for the National Register through survey evaluation, while the 3CS and 5S3 status codes mean that it appears eligible for both listing on the California Register and for local designation, as evaluated through survey.

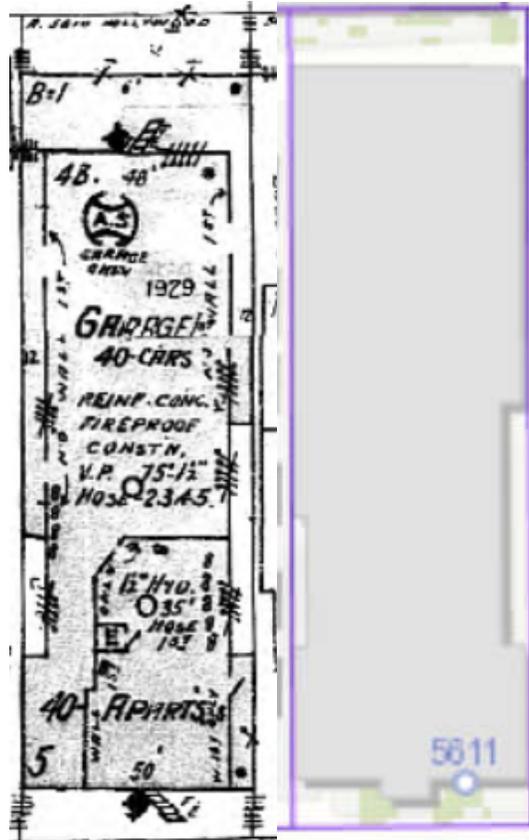
<sup>30</sup> Los Angeles Building Permit No. 30097, issued on November 21, 1929.



5600 Hollywood Boulevard HRA/ 202000095.00

SOURCE: ESA, 2020

**Figure 9**  
A view of the south (primary) façade of 5611 Carlton Way, view facing north



SOURCE: EDR; Los Angeles County Assessor

5600 Hollywood Boulevard HRA/ 202000095.00

**Figure 10**

A comparison of the footprint of 5611 Carlton Way as documented in a 1950 Sanborn (left) with the current LA County Assessor map (right) reveals that the original footprint appears to remain intact.

### 3.3 Historic Resources Setting

Listed below in **Table 3** are 47 historic resources located within 0.25 miles of the subject properties as found both HistoricPlacesLA—the City of Los Angeles’s online information and management system specifically created to inventory and map significant historic resources—as well as the BERD, as maintained by the OHP. Of the 47 historic resources within 0.25 miles of the subject properties, 5 have direct views of the subject properties, including the following: 5611 Carlton Way, located to the west and southwest of the subject property; 5601 Hollywood Boulevard and 5611 Hollywood Boulevard, which are both located to the north of the subject properties; 5618 Hollywood Boulevard, known as the California Bank, located to the east and northeast of the subject property; and 5552 Carlton Way, known as The Dunning House, which is located to the southeast of the subject properties. An additional seven properties—Saint Andrews Bungalow Court, 1809 N. Gramercy Place, 1745 N. Gramercy Place, 5447 Hollywood Boulevard, 5647 Hollywood Boulevard, and 5618 Hollywood Boulevard—have indirect views of the subject property.

**TABLE 3  
NEARBY HISTORIC RESOURCES  
(WITHIN .25 MILES OF SITE)**

Address/Name	Source	Date	*Resource Description	*CHR Status Code	Approx. Distance from Subject Property	View
<b>Historic Resources with a Direct View of the Project Site</b>						
5611 Carlton Way	HistoricPlacesLA	1930	Art Deco apartment building	3CS;5S3;3S	Immediately W and SW	Direct View
5601 Hollywood Blvd	BERD	1956	Googie motel	2S2	62 ft. N	Direct view
5611 Hollywood Blvd	BERD	1922	Renaissance Revival commercial building	2S2	62 ft. N	Direct view
5618 Hollywood Blvd, California Bank	BERD	1930	Art Deco commercial building	2S2	65 ft W and NW	Direct View
5552 Carlton Way, Dunning House LAHCM 441	HistoricPlacesLA, BERD	1906	Victorian residence	2S2	95 ft. SE	Direct view
<b>Historic Resources with an Indirect View of the Project Site</b>						
St. Andrews Bungalow Court 1514-1544 N. St. Andrews Pl. National Register of Historic Places 98000244	HistoricPlacesLA	-	-	1S	605 ft. S	Indirect view
1809 N. Gramercy Pl.	HistoricPlacesLA, BERD	1909	Rare residence predating Hollywood's annexation to LA	3S; 3CS; 5S3	737 ft. N	Indirect view
1745 N. Gramercy Pl.	BERD	1930	Marsdin Apartment and Hotel, Bethany Towers	3S	527 ft. N	Indirect view
5447 Hollywood Blvd	BERD	1924	-	5S2	793 ft. NE	Indirect view
5540 Hollywood Blvd	BERD	1921	G.M. Benethum Building	2S2	215 ft. E	Indirect view
5647 Hollywood Blvd	BERD	1929	-	5S2	360 ft. W	Indirect view
5618 Hollywood Blvd	BERD	1930	California Bank	2S2	80 ft. W	Indirect view

Address/Name	Source	Date	*Resource Description	*CHR Status Code	Approx. Distance from Subject Property	View
5701 Hollywood Blvd	BERD	1929	Security Pacific Bank	3S	552 ft. W	Indirect view
<b>Historic Resources with No View of the Project Site</b>						
1706 N. Gramercy Place	BERD	1913	-	3S	154 ft. NW	No view
5524 Hollywood Blvd Falcon Studios LAHCM 382	HistoricPlacesLA	-	-	5S1	244 ft. E	No view
The Bricker Building 1571 N. Western Ave National Register of Historic Places 10001119	HistoricPlacesLA, BERD	1923	-	1S	840 ft. SE	No view
Hollywood Western Building 5500-5510 Hollywood Blvd. LAHCM No. 336	HistoricPlacesLA, BERD	1928	-	1S	526 ft. E	No view
1802-1810 ½ N. Western Ave Bungalow Court	HistoricPlacesLA	1920	1920s bungalow court associated with the entertainment industry	3S; 5S3; 3CS	1,014 ft. NE	No view
Security Pacific Bank 1811 N. Western Ave	HistoricPlacesLA	1972	Corporate Modern commercial building designed by Craig Ellwood	5S3; 3CS	871 ft. NE	No view
1756-1800 Garfield Pl. Bungalow Court	HistoricPlacesLA	1912	1910s bungalow court associated with the entertainment industry	3CS; 5S3; 3S	637 ft. NE	No view
Garfield Court Apartments 1839 N. Garfield Pl.	HistoricPlacesLA	1927	1920s courtyard apartments designed by A.J. Waid	5S3; 3S; 3CS	985 ft. N	No view
1806 Gramercy Pl.	HistoricPlacesLA, BERD	1907	Rare residence predating Hollywood's annexation to LA	3S; 3CS; 5S3	714 ft. N	No view

Address/Name	Source	Date	*Resource Description	*CHR Status Code	Approx. Distance from Subject Property	View
1756 N. Wilton Pl.	HistoricPlacesLA	1908	Rare residence predating Hollywood's annexation to LA	3S; 3CS; 5S3	710 ft. NW	No view
1750 N. Wilton Pl	HistoricPlacesLA	1913	American Foursquare residence	3S; 3CS; 5S3	682 ft. NW	No view
1755 ¼ N. Wilton Pl	HistoricPlacesLA	1914	Craftsman style single-family residence	3S; 3CS; 5S3	804 ft. NW	No view
1803 N. Wilton Pl.	HistoricPlacesLA	1925	Spanish Colonial Revival apartment house by architect Max Maltman	3S; 3CS; 5S3	892 ft. NW	No view
1817 N. Wilton Pl.	HistoricPlaesLA	1915	Renaissance revival single-family Residence	3S; 3CS; 5S3	960 ft. NW	No view
1821 N. Wilton Pl.	HistoricPlacesLA	1917	Arts and Crafts Prairie style residence	3S; 3CS; 5S3	1,036 ft. NW	No view
1825 N. Wilton Pl.	HistoricPlacesLA	1925	1925Arts and Crafts prairie style single-family residence	3S; 3CS; 5S3	1,087 ft. NW	No view
1833 N. Wilton Pl.	HistoricPlacesLA	1911	Craftsman residence	3S; 3CS; 5S3	1,117 ft. NW	No view
1845 N. Wilton Pl.	HistoricPlacesLA	1915	Craftsman single-family residence	3S; 3CS; 5S3	1,220 ft. NW	No view
The Polynesian 1830 N. Taft Ave LAHCM 1070	HistoricPlacesLA	-	-	-	1,1232 ft. NW	No view
1736 N. Gramercy Pl	BERD	1923	-	3S	364 ft. N	No view
1740 N. Gramercy Pl	BERD	1924	The Devonshire	3S	474 ft. N	No view
1813 Gramercy Pl.	BERD	1912	-	3S	790 ft. N	No view
1847 Gramercy Pl.	BERD	1907	-	5S2	1,123 ft. N	No view
1845 Gramercy Pl.	BERD	1927	-	5S2	1,100 ft. N	No view
1848 Gramercy Pl.	BERD	1929	Sir Launfal Apartments	5S2	1,228 ft. N	No view

Address/Name	Source	Date	*Resource Description	*CHR Status Code	Approx. Distance from Subject Property	View
1508 N. Wilton	BERD	1923	Temple Beth El, LA Korean Baptist Church	3S	676 ft. SW	No view
1528 N. Western Ave	BERD	1921	Roger the Plumber	5S2	966 ft. SE	No view
1714 Garfield Pl	BERD	1922	-	5S2	380 ft. NE	No view
1722 Garfield Pl	BERD	1924	Royal Arms Apartments	5S2	409 ft. NE	No view
1746 Garfield Pl.	BERD	1925	-	5S2	576 ft. NE	No view
1811 Garfield Pl	BERD	1926	-	5S2	781 ft. N	No view
1823 Garfield Pl	BERD	1955	-	5S2	920 ft. N	No view
1833 Garfield Pl.	BERD	1922	-	3S	984 ft. N	No view
1853 Garfield Pl	BERD	1924	-	5S2	1,147 ft. N	No view
5766 Hollywood Blvd	BERD	1924	Hollywood Sports Car	2S2	1,027 ft. W	No view
5417 Carlton Way	BERD	1917	-	5S2	1,148 ft. E	No view

## 4.0 Environmental Setting

### 4.1 Neighborhood Development

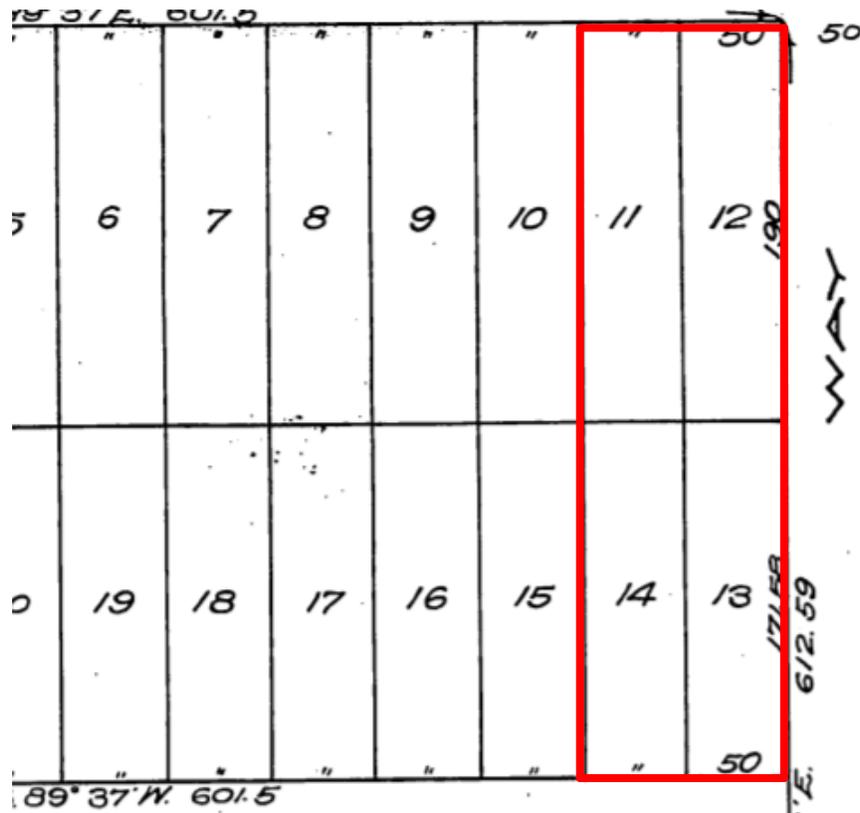
#### South Los Angeles

The subject properties are located within the Hollywood CPA. A history of the Hollywood CPA can be found in the *Historic Resources Survey Report for the Hollywood Community Plan Area*.<sup>31</sup>

#### Tract History

##### *Irving Park (1910)*

The subject properties are located on part of lot 10 and lots 11, 12, 13, and 14 of the Irving Park tract (**Figure 3 and Appendix B**). Irving Park was a subdivision of a portion of lot 44 of the west portion of the Lick Tract and was subdivided in August of 1910. The tract was owned by William O. Jackson. Irving Park is a small tract consisting of 36 rectangular shaped lots of various sizes.



5600 Hollywood Boulevard HRA/ 202000095.00

SOURCE: Los Angeles County  
department of Public  
Works

**Figure 11**

Excerpt of Irving Park Tract with the subject properties outlined in red

<sup>31</sup> SurveyLA, "Hollywood Community Plan Area," prepared for the City of Los Angeles Department of Planning, November 2015, 3-10.

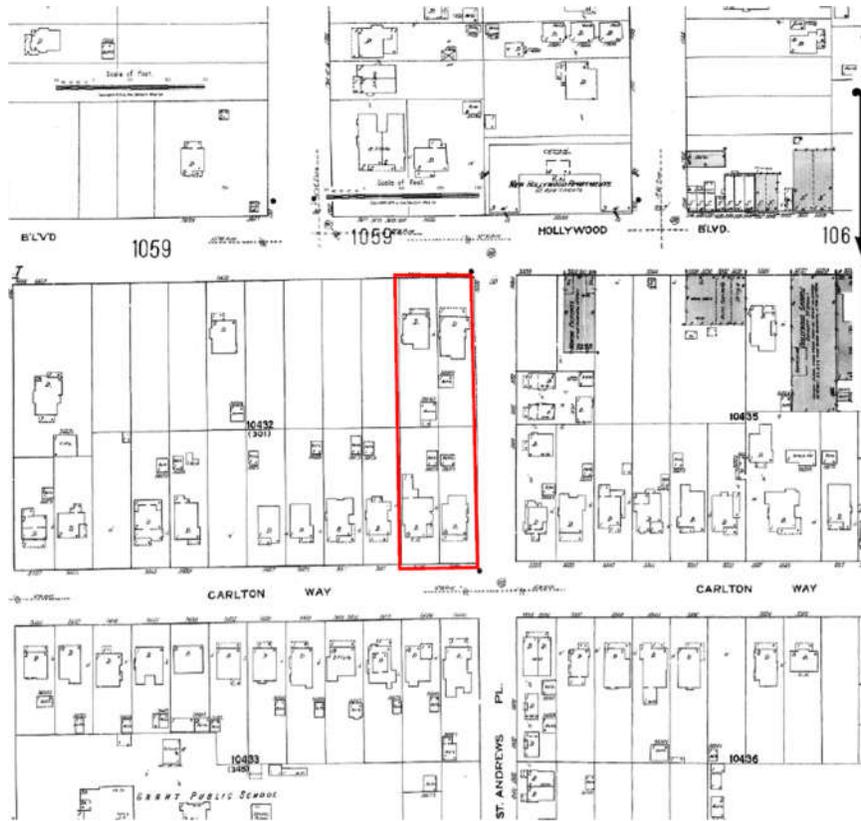
In 1919, all of the lots located along Carlton Way were developed with single-family residences including lots 13 and 14. The lots facing Hollywood Boulevard were mostly undeveloped except for four single-family residences including lots 11 and 12. At this point in time, all of the subject properties were developed with single-family residences (**Figure 11**).

By 1928, some commercial development had occurred along Hollywood Boulevard, which also was present in 1938 and 1948 (**Figures 12-14**). The Art Deco style apartment building located at 5611 Carlton Way (lot 15), was the first multi-family building in the Irving Park Tract and it is directly west of 5607 Carlton Way (lot 14), was constructed in 1930. The 1950 Sanborn shows that, by this time, the parcels located along Hollywood Boulevard were developed with stores and offices. The north side of Hollywood Boulevard was developed with stores, a used auto shop, and the New Hollywood Apartments. The south side of Hollywood Boulevard was similarly developed with commercial uses, although there were some residential uses interspersed there, as well. The subject property located at 5600 Hollywood Boulevard (Lot 12) was developed with stores and some dwellings. The subject property located at 5604-5606 Hollywood Boulevard (Lot 11) was developed with the building that is still extant on the site, and the bottom story was divided into two stores (**Figure 15**).

By 1955, a new apartment building was constructed at 1680 N. Wilton Place the tract, and in 1957, the residence located at the subject property at 5607 Carlton Way (Lot 14) was demolished (**Figures 16-17**). By 1960, Sanborns show that the subject property located at 1655 N. Saint Andrews Place (Lot 13) was developed with the Mid-Century Modern Dingbat/Stucco Box apartment building that is still extant on the site today (**Figure 18**).

Between 1981 and 1989, the residential lots south of Carlton Way were demolished for the development of an elementary school that is still located there (**Figure 19**). The buildings on the subject property located at 5600 Hollywood Boulevard were demolished between 1994 and 2002 (**Figure 20**).

Today, the Irving Park Tract has been substantially altered with the addition of more recent infill. The apartment building located at 5643 Carlton Way was constructed in 1964; the apartment building located at 1660 N. Wilton Place was constructed in 1990; the apartment building located at 5623 Carlton Way was constructed in 1992 as was also the apartment building located at 5617 Carlton Way; and the apartment building located at 5633 Carlton Way was constructed in 2011. As mentioned above, the residences previously located on the south side of Carlton Way were demolished before 1989 and have since been redeveloped with buildings and parking for Grant Elementary School. 5632 Hollywood Boulevard was developed in 1974 and updated in 1995, and 5610 Hollywood Boulevard was developed in 1997. As mentioned above, the stores and dwellings on the subject property located at 5600 Hollywood Boulevard were demolished between 1994 and 2002 (**Figure 21**).



SOURCE: EDR

5600 Hollywood Boulevard HRA/ 202000095.00

**Figure 12**  
Excerpt of the 1919 Sanborn



SOURCE: EDR

5600 Hollywood Boulevard HRA/ 202000095.00

**Figure 13**  
Detail of 1928 aerial, subject property outlined in red



SOURCE: EDR

5600 Hollywood Boulevard HRA/ 202000095.00

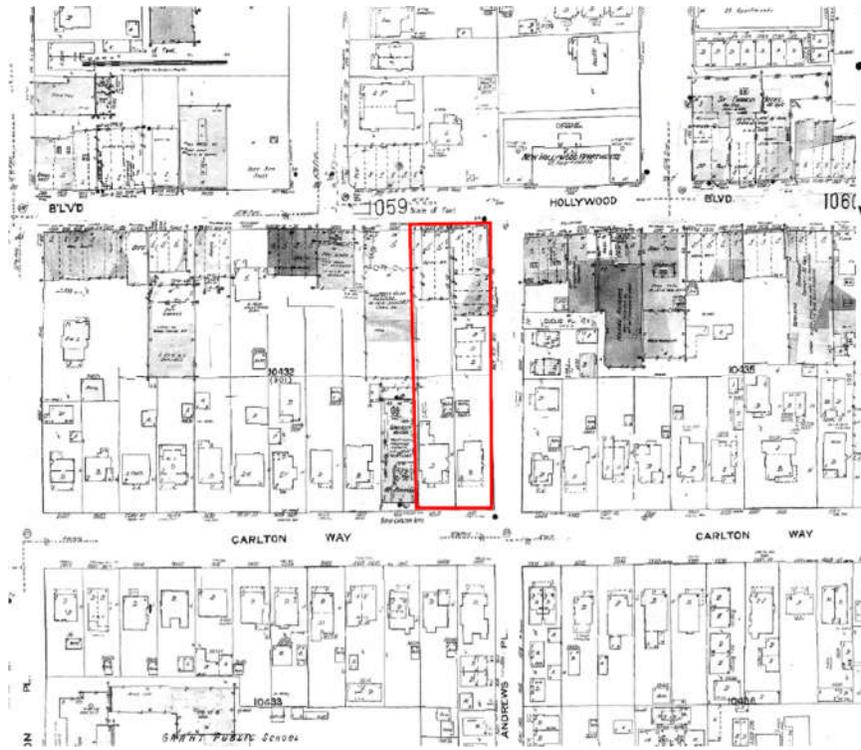
**Figure 14**  
Detail of 1938 aerial, subject property outlined in red



SOURCE: EDR

5600 Hollywood Boulevard HRA/ 202000095.00

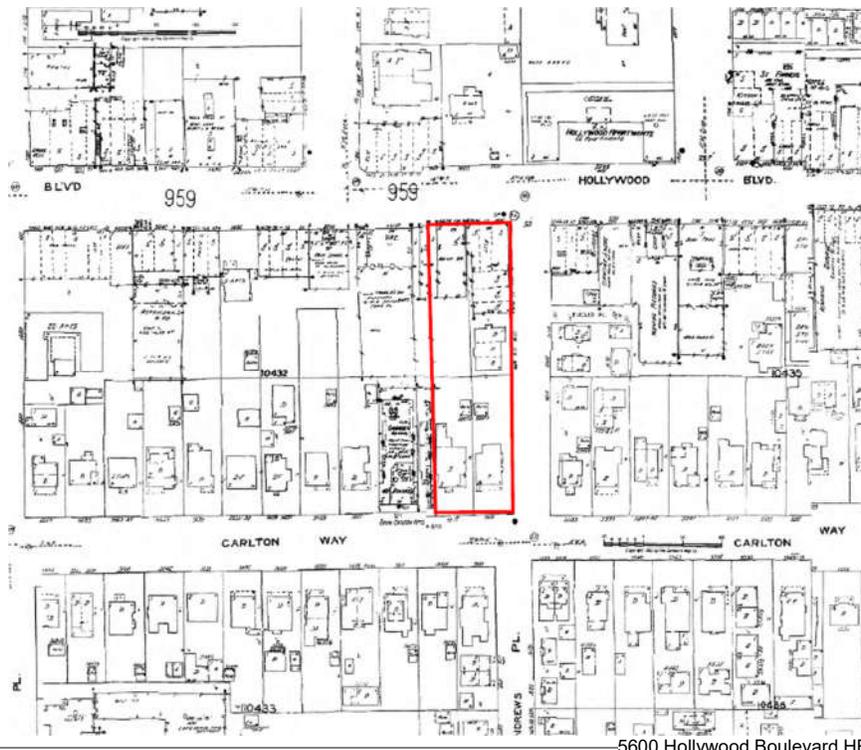
**Figure 15**  
Detail of 1948 aerial, subject property outlined in red



5600 Hollywood Boulevard HRA/ 202000095.00

SOURCE: EDR

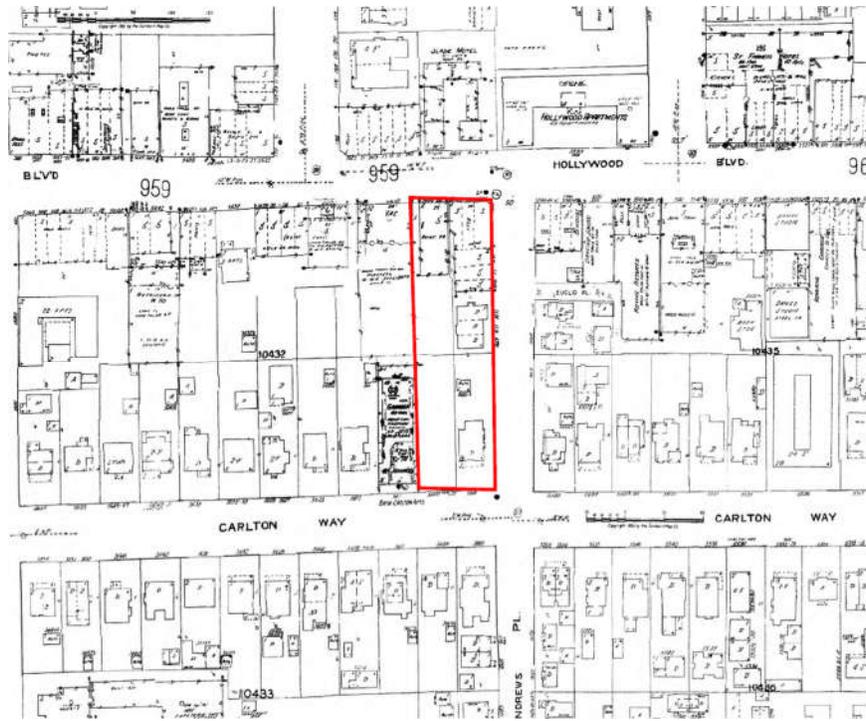
**Figure 16**  
Excerpt of the 1950 Sanborn



5600 Hollywood Boulevard HRA/ 202000095.00

SOURCE: EDR

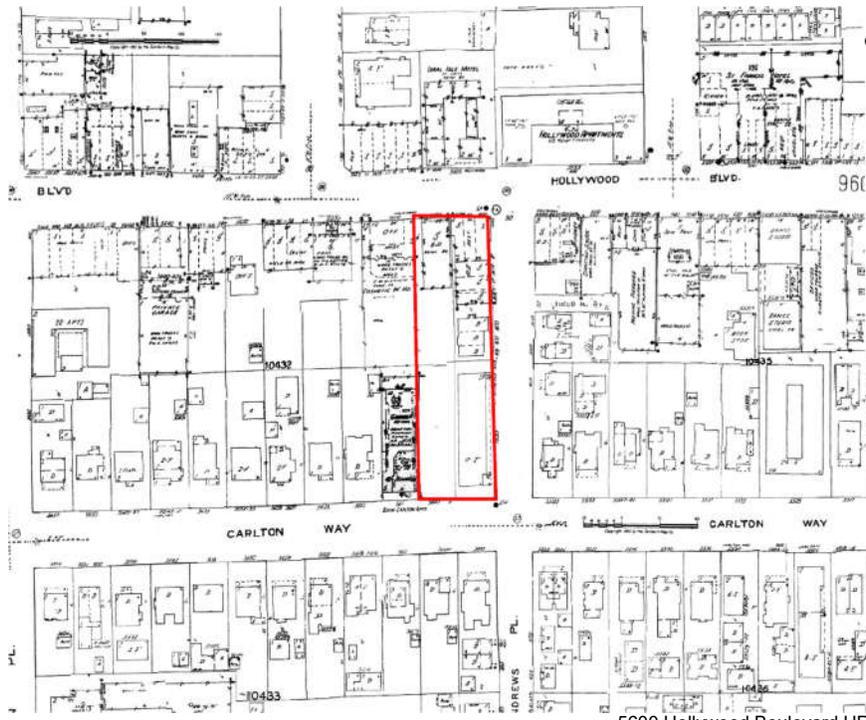
**Figure 17**  
Excerpt of the 1955 Sanborn



5600 Hollywood Boulevard HRA/ 202000095.00

SOURCE: EDR

**Figure 18**  
Excerpt of the 1957 Sanborn



5600 Hollywood Boulevard HRA/ 202000095.00

SOURCE: EDR

**Figure 19**  
Excerpt of the 1960 Sanborn



5600 Hollywood Boulevard HRA/ 202000095.00

SOURCE: EDR

**Figure 20**  
Aerial from 1989, subject properties outlined in red



5600 Hollywood Boulevard HRA/ 202000095.00

SOURCE: EDR

**Figure 21**  
Aerial from 2002, subject properties outlined in red



SOURCE: EDR

5600 Hollywood Boulevard HRA/ 202000095.00

**Figure 22**

Aerial from 2016, subject properties outlined in red

## 4.2 Architectural Description

As previously described earlier in this report, the Project Site is comprised of four parcels—an undeveloped lot located at 5600 Hollywood Blvd, a two-story brick vernacular building located at 5604-5606 Hollywood Boulevard, a three-story Mid-Century Modern Dingbat/Stucco Box apartment building (comprised of a soft story at ground level for tuck-in parking spaces and with two levels of living units constructed above it) located at 1655 N. Saint Andrews Place, and a parking lot located at 5607 Carlton Way—as shown on **Figure 2**. 5600 and 5604-5606 Hollywood are oriented north towards Hollywood Boulevard, 1655 N. Saint Andrews Place is oriented east towards St. Andrews Place, and 5607 Carlton Way is oriented south towards Carlton Way. However, since potential historical resources are only present on two of these parcels—5604-5606 Hollywood Boulevard and 1655 N. Saint Andrews Place—the architectural description provided here largely focuses on these two parcels, and provides only a brief overview of the two vacant parcels that are presently unimproved.

### ***5600 Hollywood Boulevard***

As discussed above and depicted in historic Sanborn maps and historic aerial photographs, the subject property located at 5600 Hollywood Boulevard was developed with buildings as late as

1989. However, today it is a vacant lot that is overgrown with vegetation and enclosed by a chain link fence (**Figure 23**).



5600 Hollywood Boulevard HRA/ 202000095.00

SOURCE: ESA 2020

### **Figure 23**

The vacant lot located at 5600 Hollywood Boulevard, with the side elevation of 5604-5606 Hollywood Boulevard shown beyond, view facing west

## ***5604-5606 Hollywood Boulevard***

### **Exterior**

The existing mixed-use commercial/residential building on the subject property is a two-story brick vernacular modern building; it was originally constructed in 1948 as a one-story building with plans in place to construct a second story at a later date. The second story was completed two years later, in 1950 (**Figure 24**). Originally, when first constructed, the building was built to accommodate one retail store on the ground floor; when the second floor was constructed two years later, it, too, functioned as a retail store. However, for the past thirty years, since 1990, the ground floor of the building has been used for auto body repair and detailing, rather than retail. Moreover, when the second floor was added to the building in 1950, new uses were introduced shortly after its construction. Although ostensibly the second floor was first built to accommodate more space for the retail operation below, within the first year of its construction it was converted to accommodate a mix of offices, apartments, and a single hotel unit; these uses continue into the present day, with the exception of the single hotel unit.



5600 Hollywood Boulevard HRA/ 202000095.00

SOURCE: ESA 2020

**Figure 24**

North (primary) elevation of 5604-5606 Hollywood Boulevard, view facing south. The exterior of the building was originally exposed brick, as documented in a building permit, so the stucco that appears on the façade today appears to be an unpermitted alteration. Other more minor alterations, such as the security gate over the storefront and the new vinyl windows, are outlined in yellow

Today, the building is two stories in height, with a flat, modified bitumen roof surrounded by a low parapet. The building has a rectangular footprint that sits on a concrete slab-on-grade and is constructed of brick; however, the primary (north) façade has a stucco finish. The stucco finish appears to be an unpermitted alteration to the building, as a permit indicates that the building was originally constructed with a brick exterior.<sup>32</sup> At the ground level, there is a single entrance door located on the eastern end of the primary façade that provides entry to an interior staircase that provides access to the second floor level. The door is wood framed and glazed, and it appears to be original; it is surmounted by a wooden transom window and flanked by two sidelights. Adjacent to this single door is a large glazed storefront with an entry door that provides access to the first floor level. Both the single entry door and the large glazed storefront are covered with metal security gates (minor alteration). At the second floor level on the, there is a row of five multi-lite windows. The windows alternate in an “A-B-A-B-A” pattern across the façade, as there are three smaller-sized windows that are interspersed with two larger windows. These five windows are all replacement vinyl windows (alteration), which were installed at an unknown date. All five windows are circumscribed by a horizontally-oriented surround that both appears original and gives the second floor of the building a decidedly horizontal appearance rather than a vertical one, despite its two-story height. Located above this window surround is a roughly

<sup>32</sup> Los Angeles Building Permit No. 09773, issued April 14, 1948.

square-shaped blade sign that reads “Precise Auto Body,” the name of the business that has occupied the property as a tenant since 1990.

The east (side) elevation of the building is largely unarticulated architecturally (**Figure 25**). It is painted brick, and it only has minimal fenestration at the first floor level; there are two wood 1/1/ double-hung sash windows located at the southernmost end of this elevation that appear to be original. Fenestration on the second-floor level is limited to five multi-lite windows that occur on the southernmost two-thirds of the elevation; the northernmost third of the building, which is adjacent to the building’s street frontage on Hollywood Boulevard, is unfenestrated. Two of these five windows are large multi-lite windows, two are small 2/2 windows, and one is a medium sized multi-lite window; they are arranged in a “A-B-A-B-C” pattern. All of the windows are vinyl covered windows (alteration), and the two large multi-pane windows have air conditioning units affixed to them.



5600 Hollywood Boulevard HRA/ 202000095.00

SOURCE: ESA 2020

**Figure 25**

East (side) elevation of 5604-5606 Hollywood Boulevard, view facing west. Altered windows are outlined in red. Alterations such as the security bars are outlined in red, and non-original vinyl windows are outlined in yellow.

The south (rear) elevation of the building is also largely unarticulated architecturally (**Figure 26**). It is unpainted brick, and there are two doors and a window at the ground floor level, as well as a large opening with an overhead door that that was added in 1995 (alteration). At the second floor level there is one door that is centrally placed upon the façade at this level, which is flanked by two large, non-original, multi-pane, vinyl windows (alteration). An exterior steel stair that appears original to the construction of the second floor level is centered on the building façade; it provides access to the second floor level from the ground floor level.

The west (side) elevation of the building is also unpainted brick. There are two wood 1/1 double-hung sash windows at the ground floor level that appear to be original, and these are covered with metal security bars that are affixed to them (alteration). At the second floor level, there are a grouping of seven, large vinyl-covered multi-pane windows (alteration) that are identical to one another in their size and configuration. These windows are arranged across the length of the elevation in regular intervals, and several of the windows have individual window air conditioning units affixed to them (alteration) (**Figure 27**).



5600 Hollywood Boulevard HRA/ 202000095.00

SOURCE: ESA 2020

**Figure 26**

South (rear) elevation of 5604-5606 Hollywood Boulevard, view facing north. A non-original overhead door opening is outlined in red, and non-original vinyl windows are outlined in yellow



SOURCE: ESA 2020

5600 Hollywood Boulevard HRA/ 202000095.00

**Figure 27**

West (side) elevation of 5604-5606 Hollywood Boulevard, view facing northeast. Alterations such as the security bars are outlined in red, the non-original vinyl windows are outlined in yellow, and the locations of the non-original air conditioning units are indicated with blue arrows.

## Interior

On the ground level interior of 5604-5606 Hollywood Boulevard, the building is divided up into two different spaces. To the northeastern end of the building, there is an enclosed stairwell that provides access to the second floor level from the street (**Figure 28**). The finishes in this space—such as the wooden stairs, the plaster walls, and the metal handrails—appear original to the construction of the second-floor addition. The rest of the building on the ground floor level is one large space that is interrupted only by several supporting columns that aligned with one another and are arranged in a north-south direction (**Figure 29**). From the interior of the building, it also appears that the storefront (which is covered on the exterior by metal security gates that somewhat obscure it) is heavily modified on the eastern half. The western half of the storefront has large fixed windows that are aligned in a row to be flush with the primary façade; however, at the center of the storefront, a wall is introduced to create a recessed door vestibule. Adjacent to this vestibule, there is a wall with a large punched opening that is recessed away from the primary façade and into the interior space. The Sanborn map from 1950 shows that the first floor had two stores and therefore it presumably had two store entrances on the primary façade. Therefore, the

storefront has been altered and only has one entrance. The interior partitions have also been removed at an unknown date. The exterior walls that define this ground floor interior space are painted drywall, and there is a suspended acoustical ceiling in the northernmost portion and an exposed concrete slab ceiling with exposed piping and surface mounted conduit and lighting fixtures in the southernmost portion of the space (**Figure 30**). There is no finish floor in this ground floor space, but, instead, only an unfinished concrete slab.

The second floor interior of 5604-5606 Hollywood Blvd is divided into two unequal halves by an L-shaped corridor that roughly bisects it (**Figure 31**). Several skylights illuminate the corridor, and metal security doors have been affixed over the entries to each unit (alteration). The second floor is divided into eight different units by the corridor, some of which serve as apartment units and others that serve as office spaces. The typical unit (whether used as an apartment unit or an office) has a minimum of a main living space, a kitchen, and a bathroom, but the configuration of each unit varies and some units are substantially larger than others. The units have all been recently remodeled so that the majority of finish materials appear to be new—including painted drywall and carpeting—while wooden base trim and door frames appear to be original (**Figure 32**). In the kitchens of the typical unit, all cabinetry and fixtures appear to be new replacements (alteration), as well (**Figure 33**). The bathrooms of the typical unit sometimes retain original bathtub/shower enclosures, but other fixtures and finishes appear to be new replacements (alteration) (**Figure 34**).



5600 Hollywood Boulevard HRA/ 202000095.00

SOURCE: ESA 2020

### Figure 28

North facing stairwell at 5604-5606 Hollywood Boulevard, view facing north. The stairwell located in the northeastern corner of the building that provides access to the interior second floor from the sidewalk located in front of building on Hollywood Boulevard.



5600 Hollywood Boulevard HRA/ 202000095.00

SOURCE: ESA 2020

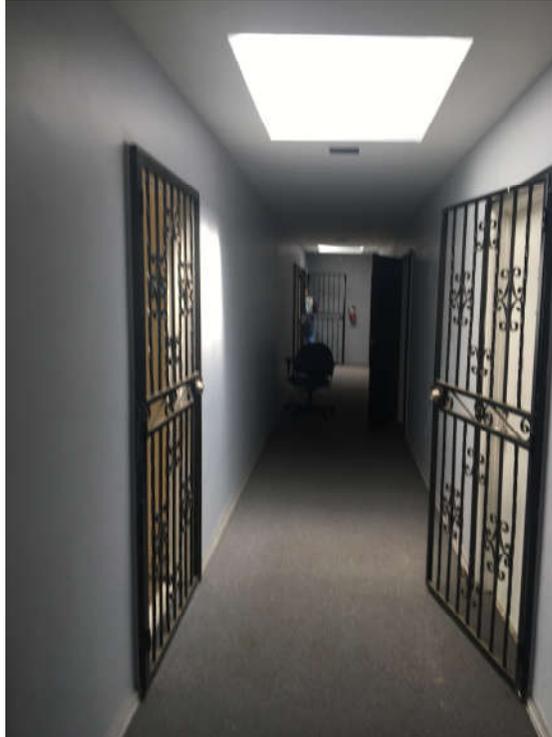
**Figure 29**  
First floor of 5604-5606 Hollywood Boulevard looking towards front of building, view facing north. Storefront alteration outlined in red



5600 Hollywood Boulevard HRA/ 202000095.00

SOURCE: ESA 2020

**Figure 30**  
First floor of 5400-5600 Hollywood Boulevard looking towards rear of building, view facing south



5600 Hollywood Boulevard HRA/ 202000095.00

SOURCE: ESA 2020

**Figure 31**  
Second floor corridor of 5400-5600 Hollywood Boulevard around which both apartment units and office units open, view facing north



5600 Hollywood Boulevard HRA/ 202000095.00

SOURCE: ESA 2020

**Figure 32**  
Typical apartment unit on second floor of 5400-5600 Hollywood Boulevard, view facing west



SOURCE: ESA 2020

5600 Hollywood Boulevard HRA/ 202000095.00

**Figure 33**  
Typical kitchen in typical apartment unit on second floor of  
5400-5600 Hollywood Boulevard, view facing north



SOURCE: ESA 2020

5600 Hollywood Boulevard HRA/ 202000095.00

**Figure 34**  
Typical bathroom in typical apartment unit on second floor  
of 5400-5600 Hollywood Boulevard, view facing west

## **1655 N. Saint Andrews Place**

### **Exterior**

This 14-unit Mid-Century Modern Dingbat/Stucco Box apartment building, which is located on the northwest corner of N. St. Andrews Place and Carlton Way, faces predominantly onto N. St. Andrews Place, although it has a side elevation that faces onto Carlton Way. It was built in 1957 and designed by architect Josef Van Der Kar in the Modern Style and, since its construction, has been in continuous use as multi-family residential housing until very recently, when the entire building was vacated and boarded up. The rectangular building is long and linear, and its length is aligned with the street onto which it fronts. The building is three stories in height (it has a ground level soft story with tuck-in parking spaces, with two levels of living units above) (**Figure 35**). The ground level concrete-slab parking spaces are enclosed on three sides and open to the air only on the front façade, where the building mass above is supported by metal pipe columns. The upper two floors of the building are block-like volumes that hold apartment units, each unit with its own open-air balcony facing toward the street onto which the building faces.



5600 Hollywood Boulevard HRA/ 202000095.00

SOURCE: ESA 2020

**Figure 35**

The primary (east) façade of 1655 N. Saint Andrews Place as centered on one of the three main entrances to the building, view facing west. The replacement decorative foliate railing that runs along the entirety of facade is outlined in red. As shown in the photo, many door and window openings are boarded up, and some doors and windows appear to be missing.

Although the building has the appearance of a single massing, it is actually comprised of four different block-like massings. These four massings step down on the site in a southward direction, with each mass being only slightly shorter than the adjacent mass by several feet. Each building mass is capped with its own roof; each roof is a gable roof that has a very slight pitch so that each roof appears from street level to be flat. The three building masses on the northern portion of the site each house four apartment units to their interior, while the mass on the southernmost portion of the site houses two apartment units to its interior. The building appears to be constructed of wood frame with a stucco finish to the exterior.

The building's fenestration is largely oriented along its front (east) façade and rear (west) elevation, although there is some fenestration on the south (side) elevation that faces onto Carlton Way, as well (Figure 36). There is no fenestration on the north elevation (Figure 37), which faces inward towards the block rather than having any street frontage. Originally, each apartment unit (with the exception of the two units one the southern end of the building) had one large glazed sliding patio door on the front façade at the location of the living room to the interior and the balcony to the exterior and an aluminum-framed sliding window at the location of the kitchen; a few of these sliding doors and windows remain extant today, but the vast majority of both the sliding doors and windows have been removed and plywood boards placed in their openings to

prevent access to the interior (alteration). On the rear elevation, each apartment unit originally had one large horizontally-oriented window at the location of a bedroom and a smaller window placed at the location of a bathroom (**Figure 38**). However, it is unknown how many of these windows remain extant today as plywood boards have been affixed to the window openings in order to prevent access to the interior of the building; some windows and window frames were observed (from the building's interior) to be missing, but some were also observed to be in place. The south elevation, which faces onto Carlton Way, was originally constructed with three vertically-oriented windows on the second floor and three vertically-oriented windows on the third floor directly aligned with the ones below. However, these windows are no longer extant; metal security bars have been affixed to the bottom portion of the window opening (alteration) and the openings have been boarded up with plywood sheathing (alteration).



5600 Hollywood Boulevard HRA/ 202000095.00

SOURCE: ESA 2020

**Figure 36**

The south (side) elevation of 1655 N. Saint Andrews Place, which faces onto Carlton Way, view facing north



5600 Hollywood Boulevard HRA/ 202000095.00

SOURCE: ESA 2020

**Figure 37**  
The north (side) elevation of 1655 N. Saint Andrews Place,  
view facing southwest



5600 Hollywood Boulevard HRA/ 202000095.00

SOURCE: ESA 2020

**Figure 38**  
The west (rear) elevation of 1655 N. Saint Andrews Place,  
view facing east

The interiors of the apartment units in the three northernmost building masses are each accessed by exterior stairs that are placed relative to the center of each respective building mass so that there is a series of three exterior stairs that appear in regularly-spaced intervals along the length of the front façade. These exterior stairs lead from the ground-level parking spaces that are located underneath the building to the living spaces located on the second and third floor levels of the building (**Figure 39**). Between the ground level and the first floor, the staircases are open tread staircases that project forward from the front (east) façade (**Figure 40**). However, once these staircases reach the first floor level, they are enclosed as corridors internal to the building. At the second floor landing where the open tread staircase to the exterior of the building transitions to the enclosed corridor to the interior of the building are located two doors on either side of the corridor (**Figure 41**). These provide entry to the two units that immediately flank the stairs. At the third floor landing located at the termination of the internal stair corridor are two more doors, one located on each side of the corridor. Each of these two doors provide access to the two apartment units immediately flanking the interior stair corridor. This circulation pattern is repeated down the length of the building, with each of three stairs located to the exterior of the building between the ground level and the first floor giving way to an internal stair corridor that provides access to two apartment units that flank it on the second floor level and another two apartment units that flank it on the third floor level, for a total of 14 apartment units opening off of a series of stair corridors along the length of the building. The only location in which there is a deviation from this pattern is at the southeast corner of the building, where a set of exterior open-tread stairs located at the corner of the building, and arranged in a zig-zag configuration, provides direct access to an apartment unit located on the second floor and another located on the third floor (**Figure 42**).

This open-tread stair is flanked to both sides with a simple, black metal railing that is comprised of vertical metal rods for supports, an upper handrail and a lower rail that run perpendicular to the rise of the stairs, and infill rods that are spaced approximately 4-5" apart from one another; this railing appears to be original. This type of metal railing also flanks the three exterior stairs that were previously described as providing access to the stair corridors to the interior of each of the three northernmost building masses. However, elsewhere, this original railing is no longer extant; the open-air balconies on the front façade are all enclosed with a metal railing that has vertical rods with a twisted configuration to simulate wrought-iron and a foliate metal design as a decorative accent (alteration dating from 1972); the handrails also have vertical supports that extend upward to the underside of the balcony's ceiling (**Figure 43 and 44**).

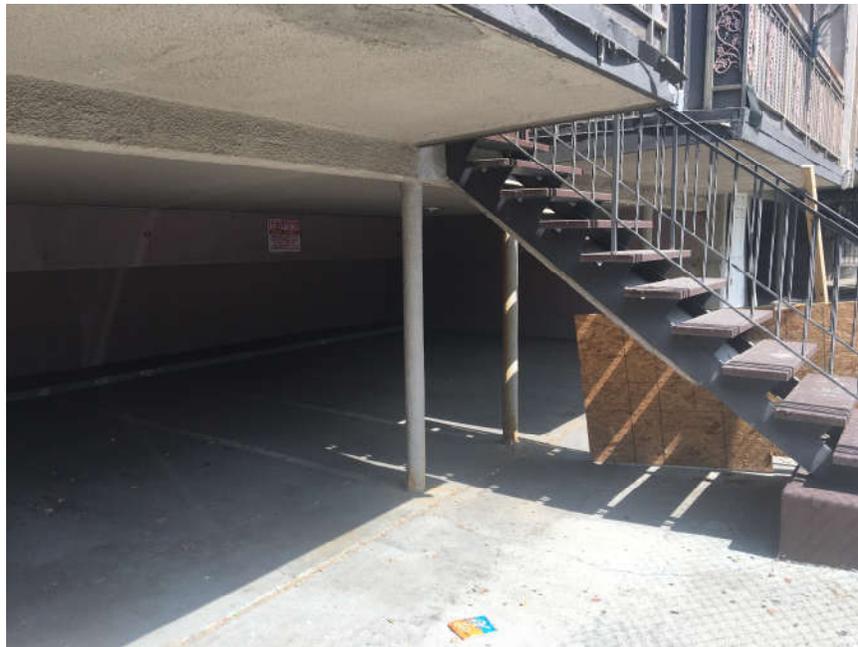


5600 Hollywood Boulevard / D20160626.40

SOURCE: ESA 2020

**Figure 39**

Ground Floor Parking at 1655 N. Saint Andrews Place, view southwest. Parking spaces located at the ground floor level beneath apartment units with one of the three exterior open-tread stairs located along the length of the front façade that provides access to the interior of the building.



5600 Hollywood Boulevard / D20160626.40

SOURCE: ESA 2020

**Figure 40**

Exterior stairs at 1655 N. Saint Andrews Place, view facing northwest. Stairs lead from ground level to enclosed corridor located above the first floor level.



5600 Hollywood Boulevard / D20160626.40

SOURCE: ESA 2020

**Figure 41**  
Internal stair corridor 1655 N. Saint Andrews Place, view facing east. Stair corridor around which entrances to two apartment units open at the second floor level (shown) and at the third floor level, view facing east



5600 Hollywood Boulevard / D20160626.40

SOURCE: ESA 2020

**Figure 42**

External stairs located at the southeast corner of 1655 N. Saint Andrews Place, view facing west. Open-tread stairs are arranged in a zig-zag configuration to provide access to one apartment unit on the second floor and another on the third floor level. The original, unaltered railing at this location (horizontal sections of which are outlined in red) reflects the former original appearance of the east facade, prior to the 1972 railing replacement.



5600 Hollywood Boulevard / D20160626.40

SOURCE: ESA 2020

**Figure 43**

Detail of exterior stairs at 1655 N. Saint Andrews Place, view facing northwest. The metal railings that appear to be original that flank the building's exterior stairs (foreground), with the replacement railings added to the building's street-facing, open-air balconies in 1972 in the background



5600 Hollywood Boulevard / D20160626.40

SOURCE: ESA 2020

**Figure 44**

Detail of railings, view facing west. A detail of the replacement metal railings and supports with a foliate decorative pattern that were placed on the building's street-facing balconies in 1972

## Interior

As previously described, each of the 14 apartment units contained in the building's three northernmost building masses is accessed by a centralized stair corridor. The entrance to each unit has been altered with the addition of a metal security door that is affixed over the main entry door. Each apartment unit is comprised of a large living room with an opening for a glazed patio door opening to the balcony to the exterior; however, all openings to the exterior within each unit are boarded up with plywood sheathing (alteration). In some units the patio door was observed to be still extant, while in others, it is not.

The living room in each apartment unit opens to a small dining area with no notable features other than some wooden chair railing affixed to the wall (**Figure 45**). The dining room opens to a kitchen arranged in a galley-like configuration (**Figure 46**). Located off of the living room is located a bathroom and a single bedroom. The bathrooms in some of the units appeared to be largely original in terms of finishes and fixtures, with tile floors, tile counters, sinks, toilets, and shower/tub enclosures (**Figure 47**). The bedroom in each unit featured a single window opening on the west wall that was boarded up; many of the bedroom windows in the units appeared to be missing (**Figure 48**). The eastern wall of the bedrooms in each unit featured a large closet, although the closet doors were typically missing (**Figure 49**).



5600 Hollywood Boulevard HRA/ 202000095.00

SOURCE: ESA 2020

**Figure 45**  
Typical living room in typical apartment unit, view facing east. Addition of plywood sheathing outlined in red



5600 Hollywood Boulevard HRA/ 202000095.00

**Figure 46**  
Typical dining room area in typical apartment unit, view facing north



5600 Hollywood Boulevard HRA/ 202000095.00

SOURCE: ESA 2020

**Figure 47**  
Typical kitchen in typical apartment unit, view facing east



5600 Hollywood Boulevard HRA/ 202000095.00

SOURCE: ESA 2020

**Figure 48**  
Typical bedroom in typical apartment unit, view facing northwest



5600 Hollywood Boulevard HRA/ 202000095.00

SOURCE: ESA 2020

**Figure 49**  
Typical bedroom closet in typical apartment unit, view facing east

The typical walls and ceiling in each unit are painted sheetrock, and the floors are a variety of finish surfaces including wood, tile, and vinyl flooring; the original flooring materials are unknown, but some finishes—such as wood flooring—appear original, while others are clearly more recent alterations, such as some tile surfaces found in kitchens (**Figure 50**).



5600 Hollywood Boulevard HRA/ 202000095.00

SOURCE: ESA 2020

**Figure 50**

Typical bathroom in typical apartment unit, view facing west

### ***5607 Carlton Way***

5607 Carlton Way is undeveloped with any built structure. Instead, its surface is paved in concrete for use as a large parking lot (**Figure 51**). It is defined by buildings to its eastern and western sides; the west (rear) elevation of the 14-unit Mid-Century Modern Dingbat/Stucco Box apartment building located on the subject property at 1655 N. Saint Andrews Place defines the parking lot to the east, and the east (side) façade of an Art Deco style apartment building located at 5611 Carlton Way defines the parking area's western edge. A concrete block wall further encloses the area to the north, and a metal security gate encloses the parking area—and provides access to it—from Carlton Way to the south.



5600 Hollywood Boulevard HRA/ 202000095.00

SOURCE: ESA 2020

**Figure 51**

The parking lot located at 5607 Carlton Way, view facing north

### 4.3 History of the Subject Properties

The two subject properties located at 5600 Hollywood Boulevard and 5607 Carlton Way are not assessed herein since they are not developed with any buildings. Instead, only the two subject properties that have buildings erected upon them—as located at 5406 Hollywood Boulevard and 1655 N. Saint Andrews Place—are assessed in the sections that follow.

## Construction and Occupancy History of 5604-5606 Hollywood Boulevard

### *Construction History*

Records from the Los Angeles County Assessor and building permits on file with the Los Angeles Department of Building and Safety were used to create a construction history for the subject property (building permits are included in **Appendix D**), as well as Sanborn maps (**Appendix C**) and historic aerials.

The first permit on file was issued on March 9, 1948 for the construction of a one story store measuring 45 feet by 92 feet. It was issued to Oscar B. and T. Elizabeth Olsen and was designed by engineer W. F. Pyne and valued at \$16,000. On April 14, 1948, a permit was issued to adapt the foundation to extend through filled ground and into 18 inches of virgin earth. The building was to have a steel frame and brick exterior walls. Originally, the building was designed to be two stories; however, only one story was built initially, with the intent that the second story would be built at a later point in time. The second story was constructed two years later in February 16, 1950, and the permit issued at the time indicated that the entire building would

continue its use as a store. However, eight months after this permit was issued to construct the second story, another permit was issued on October 20, 1950, which indicated that the second floor would change from “office use”—presumably as associated with the retail space on the ground floor—to apartment use. At this time, sky lights were installed in the building. Less than two months later, on December 1, 1950, a Certificate of Occupancy was issued that indicated that the upper floor had been divided into eight different units of space service three different functions, as follows: five apartment units, one hotel room, and two office spaces. There are no permits on file for a forty-three-year period of time spanning from late 1950 until 1993, other than the addition of a 30 square foot projecting sign installed by the Interstate Neon Corporation on October 9, 1961. A permit was issued for a new roof in 1993. In 1995, a permit was issued for a new rollup door at the rear of the building, and a new trash enclosure was constructed in 1996. The permit history is shown in **Table 4** below and the permits are included in **Appendix D**.

**TABLE 4**  
**5604-5606 HOLLYWOOD BOULEVARD, LOS ANGELES**  
**LOS ANGELES DEPARTMENT OF BUILDING AND SAFETY BUILDING PERMITS<sup>33</sup>**

Issued	Location	Permit/Assessor Record	Owner	Contractor (C) or Architect (A) Engineer (E)	Valuation (\$)	Description
3/9/1948	5606-5608 Hollywood Boulevard	LA03871	Oscar B. Olson and T. Elizabeth Olson	W. F. Pyne (E)	16,000	Construction of 1-story store building, measuring 45' x 92'
4/14/1948	5606 Hollywood Boulevard	LA09773	Oscar B. Olson	Walter F. Pyne (E) Julian Weinstock (C)	500	Alter plans to adapt foundation to extent through filled ground and 18" into virgin earth. Building was to be constructed with steel frame and brick exterior walls. Additional note: building designed for 2 stories, only 1 story to be built now
8/24/1948	5606 Hollywood Boulevard	LA30313	Oscar B. Olson	ILLEGIBLE (C)	N/A	Permit for masonite framed sign to be installed flat against the building
2/16/1950	5606-5608 Hollywood Boulevard	1950LA02188	Oscar B. Olson	F. O. Reyenga (E) Julian Weinstock (C)	28,000	Addition of second story, for building to be 2 stories in height. Continued use as a store. Parking area at rear.
10/20/1950	5606 Hollywood Boulevard	1950 23133	Oscar B. Olson	Julian Weinstock (C)	220	Modifications at interior spaces including installation of skylights, and change of use from office to apartment

<sup>33</sup> Documentation exists for all permits and certificates of occupancy listed in this table.

Issued	Location	Permit/Assessor Record	Owner	Contractor (C) or Architect (A) Engineer (E)	Valuation (\$)	Description
12/1/1950	5606 Hollywood Boulevard	1950XX02188	Oscar B. Olson	N/A	N/A	Certificate of Occupancy: 2-story second floor addition of 5 apartments, 1 hotel room, and 2 offices to existing 1-story store.
10/9/1961	5606 Hollywood Boulevard	1961LA99324	Film City Loan Co.	Interstate Neon Corp. (C)	350	30 square foot projecting sign
10/12/1993	5606 Hollywood Boulevard	1993LA11002	Mrs. Mira Becker	Dutch Roofer (C)	3,180	Re-roof, present use of building listed as an apartment building
12/6/1995	5606 Hollywood Boulevard	1995LA45350	Mrs. Mira Becker	Yousefian Assoc (A)	N/A	New rollup door at rear of building, present use of building listed as a retail building
7/2/1996		1996LA53116	Avo and Dino Papazian	Yousefian Assoc (A)		New trash enclosure measuring 6' x 8' at south portion of parcel

### ***Occupancy and Ownership History***

Los Angeles-area directories and phone books, City of Los Angeles building permits on file with the City's Building Division, as well as U. S. Census data and other records were reviewed to determine if the subject property has any significant associations with the productive lives of historic personages. **Table 5** below summarizes the ownership history of 5604-5606 Hollywood Boulevard. **Table 6** summarizes the occupancy of 5604-5606 Hollywood Boulevard. Research does not reveal any people of local, state, or national significance associated with the property.

**TABLE 5  
OWNERSHIP HISTORY OF 5604-5606 HOLLYWOOD BLVD**

Year	Source	Owner	Notes
1948- c. 1961	Los Angeles Building Department	Oscar B. Olson and T. Elizabeth Olson	
1961- c. 1993	Los Angeles Building Department	Film City Loan Co.	Pawnbroker
1993-1995	Los Angeles Building Department	Mrs. Mira Becker	
1996- c. 2014	Los Angeles Building Department	Avo and Dino Papazian	Owner is also associated with neighboring 5610 Hollywood Boulevard at this time

**TABLE 6**  
**OCCUPANCY HISTORY OF 5604-5606 HOLLYWOOD BLVD**

Year	Source	Occupant	Notes
1951	Pacific Telephone & Telegraph Co.	John W. Olson (renter) Carroll Nye (renter) Jewell Capps (renter) Jos Liss (renter) Oscar B. Olson (real estate/owner)	These appear to be apartment tenants, who lived on the second floor of the building
c. 1951-1958	Pacific Telephone & Telegraph Co., Los Angeles Times advertisements	Hollywood Radio Supply Inc. Company	
1954	Los Angeles Times advertisement, January 2, 1954	American Television Laboratories	Advertisement for instructional job training: TV serviceman, TV station tech, and TV camera electrician
1962	Los Angeles Times advertisement, January 26, 1962	Kato Radio	Advertisement for Zenith television, radio, and hi-fi stereo
1974-c. 1990	Los Angeles Times advertisement, April 7, 1974	Film City Loan & Jewelry Co., Film City Pawnbrokers	Pawnbrokers
1981	Pacific Telephone	Pear Fashion Design Gene Cline	
1986	Pacific Bell	Mas Painting & Remodeling	
1994	Cole Information Services	G & N Glass & Screen	
2000-c. 2014	Haines & Company	Avedis Papazian	Potential relation to owner
c. 1990-current		Precise Auto Body	

## Construction and Occupancy History of 1655 N. Saint Andrews Place

### *Construction History*

The three-story, 14-unit Mid-Century Modern Dingbat/Stucco Box apartment building was constructed in 1957, according to the original building permit. Typical of a dingbat apartment building, it was built with two residential levels and soft-story parking spaces located at the ground floor level. The building was designed by architect Josef Van Der Ker. Construction costs were valued at \$88,000. The only additional building permit on file for the subject property was issued in 1972, fifteen years after the building's original construction, and it was to replace balcony railings on the second and third floors, for a valuation of \$2,400. The facade's original unornamented, streamlined metal railings were replaced with the decorative foliate metal railings that remain today. According to the permit, the installation of the railings was a significant enough undertaking that it required the services of an engineer, Lewis J. Osborn, which indicates that the undertaking to replace the original railings involved a structural intervention in order to accommodate the installation of the new railings. Such an intervention was likely necessary as the new railings would have needed to not only support dead loads (i.e. such as those introduced by people leaning on them) but also unanticipated live loads (i.e. loads introduced by forces such as seismic or wind events or by a person falling against them). In any event, the installation of the

railings was not only a cosmetic change to the building's façade, but also necessitated some structural engineering, which likely resulted in some alterations to the building's façade that are not reversible.

According to a review of Google Street View, the Mid-Century Modern Dingbat/Stucco Box apartment building has been known as "Park Andrew Plaza" since at least 2011. A tree located in the front of the building as positioned towards the center of the building was removed between 2011 and 2014.

This permit history is summarized below in **Table 7**, and Building Permits are included in **Appendix D**

**TABLE 7**  
**1655 N. SAINT ANDREWS PLACE**  
**LOS ANGELES DEPARTMENT OF BUILDING AND SAFETY<sup>34</sup>**

Issued	Location	Permit/Assessor Record	Owner	Contractor (C) or Architect (A) Engineer (E)	Valuation (\$)	Description
5/23/1957	1655 No. St. Andrews Place	1957LA72562	Carlton Co.	J. Van Der Ker (A) Paul Toien (E) Stuart [sic] Const. Co. (C)	88,000	Construction of apartment building with 14 units and garage
12/10/1972	1655 No. St. Andrews Place	1972LA63360	William Fertig	Lewis K. Osborn (E) Hadgard Protection Co. (C)	2,400	Replace old railings at the 2 <sup>nd</sup> and 3 <sup>rd</sup> floor balconies

### **Josef Van Der Kar, Architect (1906-2002)**

Josef Van Der Kar is the architect identified in the permit history of 1655 N. Saint Andrews Place. He was born in New York City in 1906 to Dutch immigrant parents and was a second-generation modernist architect whose work was heavily influenced by the principles of the International Style. Van der Kar attended the Pratt Institute in New York, and received a certificate in 1927.<sup>35</sup> He worked in New York City in the late 1920s through the mid-1930s. In the 1930s, he and a colleague won the Purchase Prize with an innovative tension cable design for the Palace of the Soviets.<sup>36</sup> He worked for architect Clarence Mayhew in the mid-1930s, and then for various California-based architectural offices from 1937 to 1941. He served in the Marine Corps during World War II.<sup>37</sup> After the war, he returned to Los Angeles and was employed by Metro-Goldwyn Mayer Studio, architect Gordon Kaufman, and later by architect Sumner Spaulding, each for one to two years. Van der Kar was self-employed between 1949 and 1951, later working for the General Panel Corporation for three years creating pre-fabricated housing

<sup>34</sup> Documentation exists for all permits and certificates of occupancy listed in this table.

<sup>35</sup> "American Institute of Architects: Application for Membership: Josef Van der Kar," American Institute of Architects, Application No. 11973, August 15, 1956.

<sup>36</sup> Jack D. Dwosh, "Architect Van Der Kar Is Alive and Thriving," *Los Angeles Times*, December 20, 1999.

<sup>37</sup> Ibid.

designs. Founded by Bauhaus founder Walter Gropius, the General Panel Corporation developed prefabricated housing and operated from 1947 to its bankruptcy 1952.<sup>3839</sup> Van der Kar was self-employed from 1951 to 1953 and was employed by architect Paul Robinson Hunter from 1953 through at least 1956.<sup>40</sup> It appears that he produced some of his most notable work during the late 1940 and through the mid-1960s, during which time he was self-employed and moonlighted while employed by others. Van der Kar moved to Pennsylvania in 1963, where he taught architecture at Pennsylvania State College for ten years.<sup>41</sup> Upon his retirement, he returned to Los Angeles.<sup>42</sup> Most of his works are in the Los Angeles area, although some works can be found in New York, San Francisco, Berkeley, and Santa Barbara.<sup>43</sup>

While he was known to his friends as a very private person, throughout his career Van de Kar collaborated on several projects with renowned designers and architects of the mid-century era.<sup>44</sup> In one article on the architect's work, Van der Kar is described as follows:

“[He was as] well known for his political activism as he was for his architecture ... he worked with some of the leading architectural revolutionaries such as Buckminster Fuller, Rudolph Schindler, and Richard Neutra ... and in the 1940s he collaborated with his close friend and fellow leftist Gregory Ain.”<sup>45</sup>

A 1982 article in *Arts & Architecture* noted that Van der Kar was, “a part of that very special period in Southern California architecture” that developed around architects Gropius, Fuller, Schindler, and Neutra, which spoke to Van der Kar's strong professional associations with some of the most prolific visionaries of the mid-century period.<sup>46</sup> Further, he and landscape Garret Eckbo were personal friends and lived near each other. Van der Kar worked exclusively with Eckbo on all of his projects, several of which were photographed by photographer Julius Schulman.<sup>47</sup> Photographers Schulman and Gregory Ain, were also close friends and neighbors to Van der Kar.

Despite being described as a “card-carrying Communist,” Van der Kar's clients included Albert and Roberta Wohlsetter, two neo-conservatives who worked as a husband-and-wife team on

<sup>38</sup> Pauline O'Connor, “In Laurel Canyon, Atomic Age Modern with wild history lists for \$4.5M,” *Curbed Los Angeles*, April 12, 2017, <https://la.curbed.com/2017/4/12/15265990/josef-van-der-kar-wohlsetter-house-laurel-canyon>.

<sup>39</sup> “A Journey With GPS – General Panel System,” *Society of Architectural Historians Southern California Chapter Newsletter*, May/June 2010, 1.

<sup>40</sup> “American Institute of Architects: Application for Membership: Josef Van der Kar,” 1956.

<sup>41</sup> “Finding Aid: Josef Van der Kar papers (M2130).: Dept. of Special Collections and University Archives, Stanford University Libraries, Stanford, Calif., Online Archives of California, accessed June 26, 2020, [https://oac.cdlib.org/findaid/ark:/13030/c8cz3cr4/entire\\_text/](https://oac.cdlib.org/findaid/ark:/13030/c8cz3cr4/entire_text/).

<sup>42</sup> Ibid.

<sup>43</sup> Ibid.

<sup>44</sup> Timothy Braseth, “Josef Van der Kar: Building Architectural Bridges,” *Modernism*, Summer 2011, pp. 53.

<sup>45</sup> Sarah Clephane and Mike Seasy, “The Wohlsetter House by Architect Josef Van der Kar Will Blow You Away,” *Best LA Neighborhoods*, April 12, 2017, <https://bestlaneighborhoods.com/properties/the-wohlsetter-house-by-architect-josef-van-der-kar-will-blow-you-away/>.

<sup>46</sup> “Wonderland Park,” *Arts & Architecture*, 1982, 43.

<sup>47</sup> Ibid.

foreign policy and arms strategy. In fact, Albert Wohlsetter was a national security advisor to every president from Eisenhower to Reagan, and he is said to have served as inspiration for filmmaker Stanley Kubrick's *Dr. Strangelove*.<sup>48</sup> In addition to being clients, the Van der Kars and Wohlsetters also became next door neighbors and close personal friends. Wohlsetter commissioned Van der Kar to build the couple a home after first meeting him at the General Panel Corporation.

Van der Kar had a personally distinctive style, although it was one that also was very much aligned with the principles of the style that has come to be known as Mid-Century Modern. In 1949, he published an article in *Arts & Architecture* related to his philosophies regarding the design single-family homes.<sup>49</sup> His residential designs are characterized as follows:

[They are] variations of flat-roofed post-and-beam construction with enormous sliding glass panels that roll away to open the houses to the outside. Interior walls swing or slide away, changing the configuration of rooms and creating multi-purpose spaces. Exposed brick fireplace walls serve as room dividers and exterior walls that aren't all-glass have ribbons of clerestory windows admitting filtered light at the ceiling level. He mastered light and color, painting accent walls in vivid hues of orange, yellow, red or chartreuse. Believing that the vegetation outside guided the light inside the house, he collaborated with landscape designer Garrett Eckbo on all his projects, refusing a commission if Eckbo wasn't available to join him.<sup>50</sup>

Some of his best known works are single-family residences including the Wohlstetter House in Laurel Canyon (**Figure 52**), the Rootenberg-Markham house in West Hollywood, the Garrett Eckbo house in Laurel Canyon, the Henry Shire House in the Echo Park neighborhood of Los Angeles (Los Angeles Historic-Cultural Resource # 973) (**Figure 53**), the Harper House in the Curson Canyon area of Los Angeles, the Rowen House in Pacific Palisades, and three different Van der Kar residences as located in Laurel Canyon, Malibu, and State College, Pennsylvania (**Figure 54**).

Van der Kar's work appears to be understudied today, as there is currently no book or monograph on his work, and there are only a few published magazine articles to-date. The Henry Shire Residence, constructed in 1949, was listed as a LAHCM in 2010. The designation identified Van der Kar as a master architect, despite a lack of scholarly publications about the architect and his career. While several of Van der Kar's projects photographed by his close friend Shulman are housed in the Getty Research Institute's Julius Shulman photography archive, there is no other

<sup>48</sup> Pauline O'Connor, "In Laurel Canyon, Atomic Age Modern with wild history lists for \$4.5M," *Curbed Los Angeles*, April 12, 2017, <https://la.curbed.com/2017/4/12/15265990/josef-van-der-kar-wohlstetter-house-laurel-canyon>.

<sup>49</sup> Josef Van der Kar, "Consider the Family," *Art & Architecture*, April 1949, 29.

<sup>50</sup> "Josef Van der Kar 1906-2002," *Jet Set Modernist*, April 5, 2011, The subject property was originally designed by noted architect Josef Van der Kar in a Mid-Century Modern style. <https://jetsetmodernist.tumblr.com/post/4379930674/josef-van-der-kar-1906-2002-communists-and>.

available information, summary, or analysis about the architect’s work in the collection.<sup>51</sup> The Department of Special Collections and University Archives at Stanford University retains his namesake Josef Van der Kar Papers. The collection includes “correspondence, photographs, articles, historic building reports, books, catalogs, and other printed material related to Josef Van der Kar’s life and work.”<sup>52</sup> A request to view to of the folders in the collection – including “Folder 1: Articles about Josef Van der Kar,” and “Folder 2: Rootenberg House historic site information,” – did not include extensive photographs of his projects, schematic designs, or blueprints of his many works. Instead, the folders included only two magazine articles, and documentation related to the Van der Kar-designed Rootenberg House. The National Park Service’s *National Register Bulletin 15: How to Apply the National Register Criteria for Evaluation*, notes that “A master is a figure of generally recognized greatness in a field...”<sup>53</sup> While Van der Kar’s was associated with an influential circle of people and his work appears to be a strong example of mid-century modernism, not enough is known about his work and a much more comprehensive research effort would have to be done in the form of a monograph in order to establish him as a master architect.



5600 Hollywood Boulevard HRA/ 202000095.00

SOURCE: Sarah Clephane and Mike Seasy, “The Wohlstetter House by Architect Josef Van der Kar Will Blow You Away,” *Best LA Neighborhoods*, April 12, 2017, <https://bestlaneighborhoods.com/properties/the-wohlstetter-house-by-architect-josef-van-der-kar-will-blow-you-away/>.

**Figure 52**  
Wohlstetter House constructed in 1953

<sup>51</sup> “Julius Shulman photography archive, 1936-1997. Series IV. Job numbers, 1934-2009,” The Getty Research Institute Special Collections website. Job numbers: 1791, 2828, 3754, and 3755. Van der Kar buildings in this collection include: the Wohlstetter House (1954), the Rowen House (1959), the Syart Construction Corporation (1964), and the Harper House (1964).

<sup>52</sup> “Finding Aid: Josef Van der Kar papers (M2130).”

<sup>53</sup> *National Register Bulletin 15: How to Apply the National Register Criteria for Evaluation*, pp. 20.



5600 Hollywood Boulevard HRA/ 202000095.00

SOURCE: "Josef Van der Kar 1906-2002," *Jet Set Modernist*, April 5, 2011, <https://jetsetmodernist.tumblr.com/post/4379930674/josef-van-der-kar-1906-2002-communists-and>.

**Figure 53**  
Henry Shire House constructed in 1949



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SOURCE: "Josef Van der Kar 1906-2002," *Jet Set Modernist*, April 5, 2011, <https://jetsetmodernist.tumblr.com/post/4379930674/josef-van-der-kar-1906-2002-communists-and>.

**Figure 54**  
Van der Kar residence constructed in 1947

### **Paul J. Toien, Engineer (1916-1966)**

Paul J. Toien was listed as the engineer for the building in the initial building permit. Toien was born in Massachusetts in 1916 to Russian immigrant parents.<sup>54</sup> In 1938, he was working as a plumber in Los Angeles, according to the 1938 voter registration. However, two years later, the 1940-1942 voter registrations list him as a student in Los Angeles. In 1942, he can be found in the U.C. Berkley student yearbook as a student of civil engineering. He also was a member of the American Society of Civil Engineers student chapter. Toien passed the California examination for engineering in 1953.<sup>55</sup> That same year, in 1953, Toien patented a truss fabricator.<sup>56</sup> Toien was a structural engineer for Pacific Roof Structures and developed a new bowstring truss for the company. It was a truss with glue-laminated top and bottom chords. As an article states, “It was a giant step forward that set Pacific Roof Structures apart from the now many competitors.”<sup>57</sup>

Buildings that Paul J. Toien worked on include the following: six factory buildings in the Fullerton Airport Industrial Tract as leased to the Hughes Aircraft Company; 3940 Figueroa Street in Culver City; the Horkey-Moore Associates building in Torrance; and the Encino Medical Tower located at 16260 Ventura Boulevard in Encino.<sup>58</sup>

### **Occupancy and Ownership History**

Los Angeles-area directories and phone books, City of Los Angeles building permits on file with the City’s Building Division, as well as U. S. Census data and other records were reviewed to determine if the subject property has any significant associations with the productive lives of historic personages. **Table 8** below summarizes the occupancy and ownership history of 1655 N. Saint Andrews Place. Research does not show any people important to local, state, or national history associated with the subject property.

<sup>54</sup> U.S. Federal Census, 1930.

<sup>55</sup> *Architect and Engineer* (Volume 192-195) 1953, accessed June 26, 2020, <http://www.ebooksread.com/authors-eng/montanapublic-assistance-bureau/architect-and-engineer-volume-v192-195-1953-fna/page-70-architect-and-engineer-volume-v192-195-1953-fna.shtml>.

<sup>56</sup> *Catalog of Copyright Entries*, Volume 7, 1926.

<sup>57</sup> Dierk Peters, “The History of Pacific Roof Structures,” *Duke Pacific Inc.*, accessed June 26, 2020, <http://www.dukepacific.com/about-us/our-founder>.

<sup>58</sup> *The Los Angeles Times* (Los Angeles, CA), August 8, 1954, 129; *The Los Angeles Times* (Los Angeles, CA), November 3, 1957, 141; *The Los Angeles Times* (Los Angeles, CA), April 28, 1957, 169; “Manufacturing Unit Rising for Engineering Company,” *The Los Angeles Times* (Los Angeles, CA), July 12, 1959, 111; “Concrete Shell for Medical Center Ready,” *The Los Angeles Times* (Los Angeles, CA), April 19, 1964, 141.

**TABLE 8  
OWNERSHIP AND OCCUPANT HISTORY OF 1655 N. SAINT ANDREWS PLACE**

<b>Year</b>	<b>Source</b>	<b>Apartment</b>	<b>Owner/Occupant</b>	<b>Notes</b>
1960	Los Angeles City Directory	1	H. Randolph	
1960-1973	Los Angeles City Directory	2	Frances L. Driscoll	Divorced cashier
1960	Los Angeles City Directory	3	Robert E. Splialek	
1960	Los Angeles City Directory	4	Mrs. Helen S. Dionne	
1960	Los Angeles City Directory	5	Doris Goldmann Hans Goldmann	
1960	Los Angeles City Directory	6	Amedeo Grisanti	Designer
1960	Los Angeles City Directory	7	Abraham Rappaport	
1960	Los Angeles City Directory	8	Arabella Wasserman	
1960	Los Angeles City Directory	9	Marshall Deutsch	
1960	Los Angeles City Directory	10	Jack Goodman	
1960	Los Angeles City Directory	13	Gerald King	
1960	Los Angeles City Directory	14	John Worden	
1973	Los Angeles City Directory	3	Jos Berman	
1973-1987	Los Angeles City Directory	4	M. Fife	
1973	Los Angeles City Directory	5	E. Kotylansky	
1973	Los Angeles City Directory	6	M.J. Gillett	
1973	Los Angeles City Directory	11	Otto Montag	
1973	Los Angeles City Directory	12	Irwin Parker	
1973	Los Angeles City Directory	14	Jae S. Lim	
1973	Los Angeles City Directory	15	Imre Papp	
1987	Los Angeles City Directory	1	Angkana Glinsukon	
1987	Los Angeles City Directory	6	Frank Norman	
1987	Los Angeles City Directory	7	L. Baron	
1987	Los Angeles City Directory	10	Gabriel Silbar	
1987	Los Angeles City Directory	11	Chas E. Turner	
1987	Los Angeles City Directory	12	Irene F. Teague	
1987	Los Angeles City Directory	14	D.C. Wiser	
1987	Los Angeles City Directory	15	Arturo de la Torre	
2006	RealQuest		LLC Tuggle Family Living Trust	
2016	RealQuest		Premier Apartments	

## 4.4 Historic Context

Historic context provides the background necessary to evaluate the historic and architectural significance of the two subject properties that have potential resources upon them, including the history of their construction and alterations. The subject property located at 5604-5606 Hollywood Boulevard was evaluated by ESA under the historic context that follows: Context: Commercial Development (1859-1980), Theme: Neighborhood Commercial Development (1880-1980), Sub-Theme: Arterial Commercial Development (1880-1950). The subject property located at 1655 N. Saint Andrews Place was evaluated by ESA under the historic context that follows: Context: Architecture and Engineering (1850-1980), Sub-Context: L.A. Modernism (1919-1980), Theme: Postwar Modernism (1946-1975), Sub-Theme: Mid-Century Modernism (1945-1970); and Residential Development and Suburbanization, (1880-1980); Theme: Multi-Family Residential Development, (1895-1970); Sub-Theme: The Dingbat/Stucco Box, (1954-1968). These contexts can be reviewed on [Preservation.LACity.org](http://Preservation.LACity.org).

## 5.0 Evaluation

### 5.1 SurveyLA Registration Requirements and Eligibility Standards

Based upon the historical and architectural themes developed in the Environmental Setting section and in the Los Angeles Historic Context Statement, there are three significant SurveyLA themes associated with the two subject properties. The subject property located at 5604-6 Hollywood Boulevard is associated with the historic context that follows: Context of Commercial Development (1859-1980), Theme: Neighborhood Commercial Development (1880-1980), Sub-Theme: Arterial Commercial Development (1880-1950). The subject property located at 1655 N. Saint Andrews Place is associated with the historic context that follows: Context: Architecture and Engineering (1850-1980), Sub-Context: L.A. Modernism (1919-1980), Theme: Postwar Modernism (1946-1975), Sub-Theme: Mid-Century Modernism (1945-1970); and Residential Development and Suburbanization, (1880-1980); Theme: Multi-Family Residential Development, (1895-1970); Sub-Theme: The Dingbat/Stucco Box, (1954-1968). Illustrations of typical dingbat/stucco boxes that illustrate the context, as taken from SurveyLA, are also included below (**Figures 55 – 60**) The following are Context Summary Tables (**Table 9** and **Table 10**), as developed by the OHR, that define the eligibility standards, character-defining features, and integrity aspects a historical resource needs to have in order to be considered eligible in association with these themes. The standards for the themes pertaining to each of the two subject properties were used in the evaluations that follows below.

**TABLE 9**  
**CONTEXT SUMMARY TABLE FOR COMMERCIAL DEVELOPMENT, 1859-1980**

Context	Commercial Development, 1859-1980
Sub Context	No sub-context
Theme	Neighborhood Commercial Development, 1880-1980
Sub Theme	Arterial Commercial Development, 1880-1950
Property Type	Commercial/Retail: <ul style="list-style-type: none"> <li>• One-Story Building; One-Story Commercial Strip/Storefront Block</li> <li>• Mixed-Use Building; Mixed-Use Commercial Strip/Business Block</li> <li>• Commercial District</li> </ul>
Property Sub Type	No property sub type
Geographic Location	Citywide, within the current boundaries of Los Angeles, specifically in areas not served by streetcars, and generally in areas subdivided before 1950.
Area of Significance	Commerce, Community Planning and Development, Architecture
Criteria	A/1/1; C/3/3
Period of Significance	1880-1950
Eligibility Standards	<ul style="list-style-type: none"> <li>• Was constructed/developed during the period of significance</li> <li>• Located on streets served by modes of transportation other than streetcars, in particular by automobiles</li> </ul>
Character Defining/ Associative Features	<ul style="list-style-type: none"> <li>• Retains most of the essential character defining features from the period of significance</li> <li>• May also be significant under themes within the Architecture and Engineering context</li> <li>• Sited along corridors of transit without streetcar lines</li> </ul>

**TABLE 9  
CONTEXT SUMMARY TABLE FOR COMMERCIAL DEVELOPMENT, 1859-1980**

	<ul style="list-style-type: none"> <li>• Contains features that reflect trends in neighborhood commercial design</li> <li>• Associated with activities typical of neighborhood economic and social life</li> <li>• Examples may be set to the sidewalk or may have some accommodation for the automobile</li> <li>• May accommodate one or multiple tenants</li> <li>• Typically, one to four stories in height</li> <li>• May be located on a prominent corner</li> <li>• Storefronts with large display windows; may have awnings or arcades</li> <li>• For Multi-story, Mixed-Use Buildings:             <ul style="list-style-type: none"> <li>○ Was historically used for both commercial and office/residential uses</li> <li>○ Ground floor with storefronts and display windows</li> <li>○ Ground floor exterior entrance to upper floor units</li> <li>○ Fenestration on upper floor may be residential in character and remains intact</li> </ul> </li> <li>• For Commercial Districts             <ul style="list-style-type: none"> <li>○ District as a whole retains most of the essential character features from the period of significance</li> <li>○ District as a whole conveys a strong visual sense of overall historic environment from the period of significance</li> <li>○ Linear grouping with a significant concentration of one- to four-story commercial buildings which may be set to the sidewalk limit as near the street as possible</li> <li>○ Buildings have large storefront display windows on the ground floor</li> <li>○ Commercial uses may include retail, office, banking</li> <li>○ May include some multi-family residential and institutional buildings</li> <li>○ Historically served as the commercial core of a neighborhood</li> </ul> </li> </ul>
Integrity Considerations	<ul style="list-style-type: none"> <li>• Individual Resource             <ul style="list-style-type: none"> <li>○ Should retain integrity of Location, Design, Materials, Feeling, and Association</li> <li>○ Window and storefront openings remain intact</li> <li>○ Applied decoration is mostly intact; some decoration may be missing</li> <li>○ Relationship to sidewalk is maintained</li> <li>○ Setting may have changed (surrounding buildings and land uses)</li> <li>○ Original use may have changed</li> <li>○ Storefront signage may have changed</li> </ul> </li> <li>• Historic Districts             <ul style="list-style-type: none"> <li>○ Historic district as a whole should retain integrity of Location, Design, Feeling, Materials, Setting, and Association</li> <li>○ Some original materials may have been altered or removed on contributing buildings</li> <li>○ Common and acceptable alterations to district contributors may be added parking, new signage, and some alterations to storefront windows</li> <li>○ Setting may have changed (surrounding buildings and land uses)</li> <li>○ Original use(s) may have changed</li> </ul> </li> </ul>

**TABLE 10  
CONTEXT SUMMARY TABLE FOR ARCHITECTURE AND ENGINEERING, 1850-1980; LATE MODERNE, 1937-1960**

Context	Architecture and Engineering, 1850-1980
Sub Context	L.A. Modernism, 1919-1980
Theme	Postwar Modernism, 1946-1975
Sub Theme	Mid-Century Modernism, 1945-1970

**TABLE 10**  
**CONTEXT SUMMARY TABLE FOR ARCHITECTURE AND ENGINEERING, 1850-1980; LATE MODERNE, 1937-1960**

Property Type	Residential-Multi-Family Residence Commercial
Property Sub Type	No property sub type
Geographic Location	Citywide, with concentrations in areas of the city like the San Fernando Valley, Westchester, and the Westside that experienced considerable growth and development after World War II
Area of Significance	Architecture
Criteria	C/3/3
Period of Significance	1945-1975
Eligibility Standards	<ul style="list-style-type: none"> <li>• Exhibits quality of design through distinctive features</li> <li>• Is an excellent example of the Mid-Century Modern style</li> <li>• Was constructed during the period of significance</li> </ul>
Character Defining/ Associative Features	<ul style="list-style-type: none"> <li>• Retains most of the essential character-defining features from the period of significance</li> <li>• Direct expression of the structural system, often wood or steel post and beam</li> <li>• Simple geometric volumes</li> <li>• Unornamented wall surfaces</li> <li>• Flat roof, at times with wide overhanging eaves</li> <li>• Floor-to-ceiling windows, often flush mounted metal framed</li> <li>• Horizontal massing</li> <li>• If Expressionistic: sculptural forms intersecting with geometric volumes</li> <li>• If Expressionistic: curved, sweeping wall surfaces</li> <li>• If Expressionistic: dramatic roof forms, such as butterfly, A-frame, hyperbolic paraboloid, folded plate, or barrel vault.</li> <li>• For Historic Districts: <ul style="list-style-type: none"> <li>○ Must include a majority of building which embody the distinctive characteristics of the Mid-Century Modern style</li> <li>○ Conveys a strong visual sense of overall historic environment from the period of significance</li> </ul> </li> </ul>
Integrity Considerations	<ul style="list-style-type: none"> <li>• Should retain integrity of Design, Materials, Workmanship, and Feeling from the period of significance</li> <li>• Retains sufficient integrity to convey significance</li> <li>• If a district or grouping, the majority of the buildings should retain sufficient to convey their significance</li> <li>• Some windows and doors may have been replaced, as long as openings have not been altered and original fenestration patterns have not been disrupted</li> <li>• Surrounding building and land uses may have changed</li> <li>• Original use may have changed</li> <li>• The painting of surfaces (wood) original unpainted may be acceptable</li> <li>• Addition of decorative elements to originally sparse façades may be acceptable</li> <li>• For commercial properties, storefronts modification may be acceptable unless the original storefront is no longer evident</li> <li>• Modified signage may be acceptable if the signage itself was not a major character defining feature</li> <li>• For Historic Districts: <ul style="list-style-type: none"> <li>○ Must include a majority of building which embody the distinctive characteristics of the Mid-Century Modern style</li> <li>○ Conveys a strong visual sense of overall historic environment from the period of significance</li> </ul> </li> </ul>

**TABLE 10**  
**CONTEXT SUMMARY TABLE FOR RESIDENTIAL DEVELOPMENT AND SUBURBANIZATION, 1880-1980; MULTI-FAMILY RESIDENTIAL DEVELOPMENT, 1895-1970; THE DINGBAT/STUCCO BOX, 1954-1968**

Context	Residential Development and Suburbanization, 1880-1980
Sub Context	N/A
Theme	Multi-Family Residential Development, 1895-1970
Sub Theme	The Dingbat/Stucco Box, 1954-1968
Property Type	Residential-Multi-Family
Property Sub Type	Stucco Box/Dingbat
Geographic Location	Citywide, with concentrations in the San Fernando Valley, Wilshire, Hollywood, South Los Angeles, and West Los Angeles
Area of Significance	Community Planning and Development; Architecture
Criteria	A/1/1 and C/3/3
Period of Significance	1954-1968
Eligibility Standards	<ul style="list-style-type: none"> <li>• Occupies a single residential lot</li> <li>• An excellent example of the type</li> <li>• Was constructed during the period of significance</li> <li>• A good example of its architectural style from its period and/or the work of a significant architect of builder</li> </ul>
Character Defining/ Associative Features	<ul style="list-style-type: none"> <li>• Retains most of the essential character-defining features from the period of significance</li> <li>• Designed to maximize lot coverage, occupying the full depth of a single residential lot with little or no useable outdoor space</li> <li>• Composed of simple, rectangular volumes, flat surfaces, flush-mounted metal-frame windows, and stucco wall cladding</li> <li>• Generally contains between 4 and 16 units; may be up to 20 units</li> <li>• Units are accessed by exterior staircases and corridors</li> <li>• Incorporates all of the following: <ul style="list-style-type: none"> <li>○ Soft story parking (tuck under) recessed into one of more sides of the building</li> <li>○ Dingbat address number and/or signage</li> <li>○ Exaggerated façade details such as light fixtures, starbursts, decorative patterns in the stucco, etc.</li> </ul> </li> </ul>
Integrity Considerations	<ul style="list-style-type: none"> <li>• Should retain integrity of Location, Design, Materials, and Feeling</li> <li>• Security bars may have been added</li> <li>• Some original materials may have been altered/removed</li> <li>• Surrounding buildings and land uses may have changed</li> </ul>



5600 Hollywood Boulevard HRA/ 202000095.00

SOURCE: Valley Times Collection, Los Angeles Public Library via SurveyLA, 2018

**Figure 55**  
Dingbat in the San Fernando Valley



5600 Hollywood Boulevard HRA/ 202000095.00

SOURCE: Los Angeles Public Library via SurveyLA, 2018

**Figure 56**  
Dingbat at 11742-11744 Dorothy Street, 1956, Brentwood



5600 Hollywood Boulevard HRA/ 202000095.00

SOURCE: SurveyLA, 2018

**Figure 57**  
Lido Capri, 4216 Mary Ellen Avenue, Studio City, 1958



5600 Hollywood Boulevard HRA/ 202000095.00

SOURCE: SurveyLA, 2018

**Figure 58**  
The Sundial Palms, 3449-3455 Jasmine Avenue, Palms, 1961



SOURCE: SurveyLA, 2018

5600 Hollywood Boulevard HRA/ 202000095.00

**Figure 59**  
3626 S. Vinton Avenue, Palms, 1963



SOURCE: SurveyLA, 2018

5600 Hollywood Boulevard HRA/ 202000095.00

**Figure 60**  
Glenlani Tiki, 1622 S Beverly Glen Blvd, Westwood, 1960

## 5.2 Significance Evaluation

5604-5604 Hollywood Blvd and 1655 N. Saint Andrews Place were evaluated under the historical and architectural themes as described above in accordance with SurveyLA evaluation methods. 5600 Hollywood Boulevard and 5607 Carlton Way are not being evaluated as they are not developed with buildings. ESA also conducted research on the two subject properties' construction and occupancy history. ESA evaluated each of the two subject properties under the

criteria for listing in the National Register, California Register, and as a Los Angeles Historic Cultural Monument (LAHCM).

## 5604-5606 Hollywood Boulevard

### ***Broad Patterns of History (A/1/1)***

With regard to broad patterns of history, the following are the relevant criteria:

- **National Register Criterion A:** Is associated with events that have made a significant contribution to the broad patterns of our history.
- **California Register Criterion 1:** Is associated with events that have made a significant contribution to the broad patterns of California's history and cultural heritage.
- **Los Angeles Historic Cultural Monument Criterion 1:** Is identified with important events of national, state, or local history, or exemplifies significant contributions to the broad cultural, economic, or social history of the nation, state, city, or community.

5604-5606 Hollywood Boulevard is located in Hollywood on Lot 11 of the Irving Park Tract. Irving Park was surveyed in 1910. Initially the tract was developed with single-family residences. By 1928, the lots along Hollywood Boulevard were being developed with commercial buildings. However, the construction of 5604-5606 Hollywood Boulevard was relatively late in the development of commercial buildings along Hollywood Boulevard as it was constructed in 1948, twenty years after commercial development along the boulevard first began. The subject property is being evaluated under the criterion of “Broad Patterns of History” under the sub-theme of Arterial Commercial Development (1880-1950). The property was first developed in 1948 at the tail end of the period of significance for this historic context, and the second story of the commercial building was not constructed until 1950, the year that marks the endpoint for the period of significance. Moreover, the building was originally designed to have a second-floor addition. Therefore, the building—including its second story addition—clearly falls within the period of significance. However, under the sub-theme of Arterial Commercial Development and the criterion under which it is being evaluated, the property does not appear to be significant. It is not associated with events important to national, state, or local history. Nor does it exemplify significant contributions to the broad cultural, economic, or social history of the nation, state, city, or community. It is a simple commercial building, and it has not contributed to development patterns in the neighborhood. Moreover, even if the building were significant under this criterion, it does not retain the level of integrity that would allow it to convey that significance; the building has been subject to a number of unpermitted alterations over the years that are clearly visible and that detract from its integrity.

As seen in the Sanborn map from 1950, it can be seen that the first floor had two stores and presumably two different entrances. Now, the first story storefront appears to be altered as the storefront has only one entrance and it appears as though the storefront windows on the eastern portion of the storefront have been replaced with a recessed wall that has a single punched opening. The second story windows are non-original vinyl-clad windows. The fenestration on the eastern and the western elevations is also largely comprised of replacement vinyl-clad windows (many of them with individual air conditioning units affixed to them); the only original fenestration on these two elevations are some wood hung windows that occur towards the rear of

the building, and these have security bars that were affixed to them at an unknown date. The rear façade has been altered through the addition of a new opening at the first floor level to accommodate the width of a car and a roll-up door that was installed in 1995, vinyl-clad windows at the second floor level, and the installation of a metal security door at the second level.

The interior of the building also appears to have been heavily modified. The most intact space on the first floor level is the interior stairwell that leads from the entry at the street to the second floor level; here, the wall finishes, stairs, and handrails all appear to be original, as does the entry door with transom and sidelights. However, elsewhere on the first floor, any first floor interior partitions and finishes that once existed to define the main retail space adjacent to the stairwell have been torn out of the building, presumably in order to better accommodate the auto work function that was introduced to the building in 1992 and that continues to the present day. Shortly after the construction of the second floor of the building in 1950, the use of this space was changed from office use associated with the retail space on the ground floor to a combination of office and apartment use, with a total of eight units accommodating offices, apartments, and one hotel unit. Today, the second floor still accommodates these same uses, with the exception of the hotel unit. The skilights that are in the second floor corridor appear to date to 1950—the year in which the second floor was built—as based upon a permit that describes their installation at this time. However, there is very little in the way of original finishes to the interior of the building at the second floor level. All of the apartment units have been recently remodeled, and have new finishes, fixtures, and cabinetry. Non-original security doors also have been affixed to all of the main entry doors to individual units at the location of the interior L-shaped corridor. As a result of all of these alterations, the building does not retain enough integrity to convey its significance as an arterial commercial development.

**5604-5606 Hollywood is not associated with any significant events important to national, state, or local history. Nor does it exemplify significant contributions to the broad cultural, economic, or social history of the nation, state, city, or community. Finally, it does not retain a sufficient degree of integrity to convey any significant association with the arterial commercial development pattern in Hollywood. Therefore, 5604-5606 Hollywood Boulevard does not meet the eligibility requirements under National Register Criterion A, California Register Criterion 1 or the LAHCM Criterion 1.**

### ***Significant Persons (B/2/2)***

With regard to associations with important persons, the following are the relevant criteria:

- **National Register Criterion B:** Is associated with the lives of persons significant in our past.
- **California Register Criterion 2:** Is associated with the lives of persons important in our past.
- **Los Angeles Historic Cultural Monument Criterion 2:** Is associated with the lives of historic personages important to national, state, city or local history.

The occupancy and ownership history for the subject property was researched by reviewing City directories, building permits, and the U.S. Census. This research effort revealed no persons important to local, state, or national history were associated with the subject property.

**Therefore, 5604-5606 Hollywood Boulevard does not meet the eligibility requirements under National Register Criterion B, California Register Criterion 2 or the LAHCM Criterion 2.**

### ***Architecture (C/3/3)***

With regard to architecture, design, or construction, the following are the relevant criteria:

- **National Register Criterion C:** Embodies the distinctive characteristics of a type, period, or method of construction or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction.
- **California Register Criterion 3:** Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values.
- **Los Angeles Historic Cultural Monument Criterion 3:** Embodies the distinctive characteristics of a style, type, period, or method of construction; or represents a notable work of a master designer, builder, or architect whose individual genius influenced his or her age

The subject property was originally designed by engineer W.F. Pyne in a vernacular commercial style. Pyne is not considered a master architect or designer, and the building is a functional building that lacks stylistic design elements, such as those that are characteristic of the Mid-Century Modern style that was popular during this era. The front, street-facing façade is the important façade as all of the other elevations are unarticulated plain brick elevations that are utilitarian in their character and lack any stylistic design elements. The front (north) façade's only ornamentation is the horizontal window surround on the second floor, which is unremarkable as a stylistic design element. Furthermore, as discussed above, the building has been heavily altered. Alterations include the non-original vinyl windows on the second floor on all four elevations, the altered storefront on the front facade, and the addition of security bars on the wood hung windows that exist on the two side elevations as located to the rear facade. Because it has been subject to heavy alterations that affect its integrity as a vernacular commercial style building—most notably the alterations to its windows and storefront, which largely do not remain intact—the building does not retain enough integrity to convey its significance as an arterial commercial development.

**Therefore, 5604-5606 Hollywood Boulevard does not meet the integrity or eligibility requirements for significance under National Register Criterion C, California Register Criterion 3 or LAHCM Criterion 3.**

### ***Data (D/4)***

- **National Register Criterion D:** It yields, or may be likely to yield, information important in prehistory or history.
- **California Register Criterion 4:** Has yielded, or may be likely to yield, information important in prehistory or history.

While most often applied to archaeological districts and sites, Criterion D/4 can also apply to buildings, structures, and objects that contain important information. For these types of properties to be eligible under Criterion D/4, they themselves must be, or must have been, the principal source of the important information. None of the buildings on the subject property appear to yield significant information that would expand our current knowledge or theories of design, methods of construction, operation, or other information that is not already known about the period in which they were constructed, their method of construction, or their design. The building reflects common building practices and materials of the early twentieth century, which have already been well documented.

**Therefore, 5604-5606 Hollywood Boulevard does not meet the eligibility requirements under National Register Criterion D and California Register Criterion 4.**

## **1655 N. Saint Andrews Place**

### ***Broad Patterns of History (A/1/1)***

With regard to broad patterns of history, the following are the relevant criteria:

- **National Register Criterion A:** Is associated with events that have made a significant contribution to the broad patterns of our history.
- **California Register Criterion 1:** Is associated with events that have made a significant contribution to the broad patterns of California's history and cultural heritage.
- **Los Angeles Historic Cultural Monument Criterion 1:** Is identified with important events of national, state, or local history, or exemplifies significant contributions to the broad cultural, economic, or social history of the nation, state, city, or community.

1655 N. Saint Andrews Place is located in Hollywood on Lot 13 of Irving Park Tract. The Irving Park Tract was subdivided in 1910. Initially the tract was developed with single-family residences, with the exception of the lots located to the northern part of the tract, as located along Hollywood Boulevard, which were being developed with commercial buildings by 1928. The original single-family residence located on Lot 13 was replaced with the current Mid-Century Modern Dingbat/Stucco Box apartment building in 1957, and it was among the earliest multi-family residential developments in the tract. However, it was not the first multi-family residential development within the tract, as multi-family apartment buildings were constructed at 5611 Carlton Way in 1930. 1680 N. Wilton Place was constructed in 1955, two years earlier than the subject property. Therefore, the subject property was not trendsetting in the development of the Irving Park Tract as multi-family residences were already being developed in the tract prior to its development. The subject property is being evaluated under “Broad Patterns of History” under the property sub-type of the Dingbat/Stucco Box, (1954-1968). While the property was constructed during the period of significance, the integrity of the building is not adequate to convey its significance as a Dingbat/Stucco Box building type. The building retains integrity of location as it has not been moved, and retains marginal integrity of setting, as earlier buildings in the immediate area have been demolished and replaced with newer structures over time. The property’s design and materials have been altered with the 1972 replacement of the original simple handrails with decorative foliate handrails, along with the insertion of new vertical supports located at the underside of the balcony’s ceiling. This modification spans the entire

facade, screening in the original balconies, and obscuring the original fenestration. The permit for this modification included an engineer, indicating that the undertaking involved a structural intervention in order to alter the building to its current aesthetic. Further, the ornate decorative handrails detract from the modern unornamented design aesthetic, which diminish the building's association with the Mid-Century Modern style. Other material changes to the building over time that were not documented in building permits that alter the building's integrity of design and materials include the following: the replacement of some of the vertically-oriented windows; the installation of metal security bars; and the removal of the aluminum sliding doors and some windows, which are now boarded up with plywood sheathing. These additional material changes were not executed with the same level of care or quality craftsmanship as was present just after original construction, thus, they have affected the integrity of workmanship at the building.

**1655 N. Saint Andrews Place is not an important to the development of the Irving Park tract and it does not retain integrity from its original construction to convey its association with the Dingbat/Stucco Box (1954-1968) property sub-type and the Mid-Century Modern style. Therefore, 1655 N. Saint Andrews Place does not meet the eligibility requirements under National Register Criterion A, California Register Criterion 1 or the LAHCM Criterion 1.**

### ***Significant Persons (B/2/2)***

With regard to associations with important persons, the following are the relevant criteria:

- **National Register Criterion B:** Is associated with the lives of persons significant in our past.
- **California Register Criterion 2:** Is associated with the lives of persons important in our past.
- **Los Angeles Historic Cultural Monument Criterion 2:** Is associated with the lives of historic personages important to national, state, city or local history.

The occupancy and ownership history for the subject property was researched by reviewing City directories, building permits, and the U.S. Census. This research effort revealed no persons important to local, state, or national history were associated with the subject property.

**Therefore, 1655 N. Saint Andrews Place does not meet the eligibility requirements under National Register Criterion B, California Register Criterion 2 or the LAHCM Criterion 2.**

### ***Architecture (C/3/3)***

With regard to architecture, design, or construction, the following are the relevant criteria:

- **National Register Criterion C:** Embodies the distinctive characteristics of a type, period, or method of construction or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction.
- **California Register Criterion 3:** Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values.

- **Los Angeles Historic Cultural Monument Criterion 3:** Embodies the distinctive characteristics of a style, type, period, or method of construction; or represents a notable work of a master designer, builder, or architect whose individual genius influenced his or her age

The subject property was originally designed by noted architect Josef Van der Kar as a Dingbat/Stucco Box-type apartment building in the Mid-Century Modern style. The building is broken up into three different nearly identical masses that occur on the northernmost and central portion of the property, while a fourth building mass at the southern end of the subject property is articulated differently than the other three masses, giving the building an asymmetrical character. Each of the three masses on the northern and central portion of the subject property is treated in the exact same way with a central exterior staircase that leads to a unit on either side of the stair case on the second and third floors. However, the southern mass has a staircase at the southeast corner that goes up in a zigzag pattern to two apartments, one located on each level of the three-story building. Each of the 14 apartment units that comprise the entirety of the building opens up to a balcony on the east (primary) façade. The building is rectangular and asymmetrical as each mass follows the grade of the lot on which it sits. Therefore, it is clear that the building has compositional arrangements typical of the Mid-Century Modern Style and that Van der Kar played with the massing of the building. It was originally sleek and modern with minimal ornamentation as is typical of the style. It retains many character-defining features from the period of significance including simple geometric volumes, unornamented wall surfaces, some limited direct expression of the structural system with steel posts defining the parking spaces soft story parking spaces located at the ground floor level, horizontal massing, and a flat roof.

As mentioned above, the subject property was designed by architect Josef Van der Kar. While Van der Kar is potentially an important architect, he is not currently considered a master architect and he is not particularly well known as there is no significant scholarship about his body of work. Additionally, the National Park Service's *National Register Bulletin 15: How to Apply the National Register Criteria for Evaluation* states that "The property must express a particular phase in the development of the master's career, an aspect of his or her work, or a particular idea or theme in his or her craft. A property is not eligible as the work of a master, however, simply because it was designed by a prominent architect."<sup>59</sup> Within his body of Van der Kar's identified work, the Mid-Century Modern Dingbat/Stucco Box apartment building at 1655 N. Saint Andrews Place was constructed toward the end of his productive period, and does not represent an architecturally significant or distinguishable commission that expresses a particular phase or aspect of his career.

Further, the building lacks adequate integrity to convey its significance as either an example of the Dingbat/Stucco Box property type or as a representative example of an apartment building executed in the Mid-Century Modern style. Some of the glazed sliding doors that open to balconies on the front facade and original fenestration remains intact, although many have been removed; exactly how many doors and windows have been removed is difficult to tell, however, since all of the openings are boarded up. The alteration that makes the biggest impact to the integrity of the building in terms of its design, workmanship, feeling, and association is the replacement of the original railing in 1972. The original handrail was a simple metal handrail that

<sup>59</sup> *National Register Bulletin 15: How to Apply the National Register Criteria for Evaluation*, 20.

is still extant in very limited locations on the building and can be observed flanking the series of three exterior staircases, as well at the location of the exterior staircase on the southeastern corner of the building (**Figure 35**). The original design of the handrail on the building was very restrained and followed the minimal and sleek aesthetic of modern design. However, in 1972, a new handrail with an ornate foliate design replaced the original railing at the location of all of the street-facing balcony enclosures. This replacement handrail, which is still extant today, also has vertical supporting posts that extend from the level of each balcony floor to the height of the balcony ceiling. The building permit for this modification involved an engineer, which indicates that railing replacement was a significant undertaking which involved a substantial structural intervention. The replacement railing from 1972 completely detracts from the Mid-Century Modern style, which was intended to be unornamented, and completely overwhelms the primary facade. The Mid-Century Modern Dingbat/Stucco Box apartment building originally had a simple, spare, and unornamented design, as was characteristic of both the Mid-Century Modern style and the other works designed by the architect, Josef Van der Kar.

The building does not exhibit the most notable character-defining features of the Dingbat/Stucco Box property type, which are noted within SurveyLA's eligibility standards for the property type. Notable character-defining features of the style that are absent from the building include: dingbat address number and or/signage, exaggerated facade details such as light figures, starbursts, and decorative patterns in the stucco. Additionally, newspaper research for the apartment building did not indicate that the building had a distinctive name, and was instead advertised with merely its address as "1655 N. St. Andrews."<sup>60</sup> Apartment buildings designed as the Dingbat/Stucco Box property sub-type relied on their creative building names to have been prominently displayed on the exterior for decorative appeal.<sup>61</sup> As a result of these missing character-defining features and materials, the building lacks adequate integrity to convey its significance as a Dingbat/Stucco Box apartment building, and is not a notable example of the sub-type. The building is one of many Dingbat/Stucco Box multi-family residential structures in the City.

Due to the building's lack of adequate integrity to convey its significance as a Mid-Century Modern style apartment building (Dingbat/Stucco Box type) due most notably to alterations of the handrails, fenestration and openings; replacement of some vertically-oriented windows; installation of metal security bars; and removal of the aluminum sliding doors and some windows, and for its lack of adequate integrity to convey its significance as a Dingbat/Stucco Box apartment building type due to its lack of prominent character-defining features of the type, in addition to the fact that it was not designed by an architect that is considered a master architect, the building does not meet the criteria for significance.

**Therefore, 1655 N. Saint Andrews Place does not meet the integrity or eligibility requirements for significance under National Register Criterion C, California Register Criterion 3 or LAHCM Criterion 3 as a Mid-Century Modern building.**

<sup>60</sup> "Hollywood Unfurnished Apartments," *Valley Times*, January 9, 1965.

<sup>61</sup> SurveyLA, "Multi-Family Residential Development, 1895-1970," Los Angeles Citywide Historic Context Statement, Prepared for the City of Los Angeles Department of City Planning, December 2018, 74.

**Data (D/4)**

- **National Register Criterion D:** It yields, or may be likely to yield, information important in prehistory or history.
- **California Register Criterion 4:** Has yielded, or may be likely to yield, information important in prehistory or history.

While most often applied to archaeological districts and sites, Criterion D/4 can also apply to buildings, structures, and objects that contain important information. For these types of properties to be eligible under Criterion D/4, they themselves must be, or must have been, the principal source of the important information. None of the buildings on the subject property appear to yield significant information that would expand our current knowledge or theories of design, methods of construction, operation, or other information that is not already known about the period in which they were constructed, their method of construction, or their design. The building reflects common building practices and materials of the early twentieth century, which have already been well documented.

**Therefore, 1655 N. Saint Andrews Place does not meet the eligibility requirements under National Register Criterion D and California Register Criterion 4.**

### 5.3 Conclusion

ESA did not find the subject properties eligible under any of the applicable criteria at either the national, state, or local levels. 5600 Hollywood Boulevard and 5607 Carlton Way are not currently developed with buildings and were therefore not evaluated for significance. Under Criterion A/1/1, ESA found that 5604-5606 Hollywood Boulevard was a late arterial commercial development in the Irving Park tract located along Hollywood Boulevard that did not possess sufficient integrity to convey its significance. Under Criterion B/2/2, there are no important persons associated with the subject property. Under Criterion C/3/3, ESA found that it is a simple vernacular building that lacks distinctive design elements and also lacks integrity to convey its significance. Under Criterion D/4, the subject property is unlikely to reveal important information about prehistory or history. Therefore, 5604-5606 Hollywood Boulevard is not significant and ESA recommends that the subject property should be assigned the California Historical Resource Status Codes of “6Z” meaning that it appears to be ineligible as an individual resource or as a contributor to the potential locally eligible district through a survey evaluation.

1655 N. Saint Andrews Place was amongst the earlier multi-family residential developments in the Irving Park tract, but it was not the earliest; instead, the apartment buildings located at 5611 Carlton Way—which was built in 1930—and 1680 N. Wilton Place—which was built in 1955—were earlier multi-family apartment buildings developed in the tract. Therefore, the subject property was not trendsetting within the tract. Under Criterion B/2/2, there are no important persons associated with the subject property. Under Criterion C/3/3, ESA found that while the architect, Josef Van Der Kar may be considered a notable architect, he is not an architect who is recognized as a master architect. Moreover, this building is not a particularly good example of his work. Furthermore, ESA found that the building is not an exemplary example of the Dingbat/Stucco Box property type, as it does not possess crucial character-defining features of the

type including dingbat address number and or/signage, exaggerated facade details such as light figures, starbursts, and decorative patterns in the stucco. Additionally, the original design intent of the Mid-Century Modern style building was highly altered by the incompatible replacement handrails added to the building in 1972, as well as by the removal of many of the doors and windows that comprise the building's fenestration pattern. The replacement railing completely detracts from the Mid-Century Modern style, overwhelming the primary facade which was intended to be unornamented. Therefore, it no longer retains adequate integrity to convey its significance as a Mid-Century Modern style apartment building. Under Criterion D/4, the subject property is unlikely to reveal important information about prehistory or history. Therefore, 1655 N. Saint Andrews Place is not significant and ESA recommends that it also should be assigned the California Historical Resource Status Codes of "6Z" meaning that it appears to be ineligible as an individual resource or as a contributor to the potential locally eligible district through a survey evaluation.

## 6.0 CEQA Impacts Analysis

The thresholds, identified below, for determining the significance of environmental effects on historical resources are derived from the CEQA Guidelines as defined in §15064.5 and the City of Los Angeles CEQA Thresholds Guide. Pursuant to this guidance, a project that would physically detract, either directly or indirectly, from the integrity and significance of the historical resource such that its eligibility for listing in the National Register, California Register, or as a City Historic Cultural Monument (LAHCM) would no longer be maintained, is considered a project that would result in a significant impact on the historical resource. Adverse impacts, that may or may not rise to a level of significance, result when one or more of the following occurs to a historical resource: demolition, relocation, conversion, rehabilitation, or alteration, or new construction on the site or in the vicinity.<sup>62</sup>

### 6.1 CEQA Guidelines

According to the State *CEQA Guidelines*, Section 15064.5(b) a project involves a “substantial adverse change” in the significance of the resource when one or more of the following occurs:

- Substantial adverse change in the significance of an historical resource means physical demolition, destruction, relocation, or alteration of the resource or its immediate surroundings such that the significance of an historical resource would be materially impaired.
- The significance of a historical resource is materially impaired when a project:
  - A. Demolishes or materially alters in an adverse manner those physical characteristics of an historical resource that convey its historical significance and that justify its inclusion in, or eligibility for inclusion in, the California Register of Historical Resources; or
  - B. Demolishes or materially alters in an adverse manner those physical characteristics that account for its inclusion in a local register of historical resources pursuant to Section 5020.1(k) of the PRC or its identification in a historical resources survey meeting the requirements of Section 5024.1(g) of the PRC, unless the public agency reviewing the effects of the project establishes by a preponderance of evidence that the resource is not historically or culturally significant; or
  - C. Demolishes or materially alters in an adverse manner those physical characteristics of a historical resource that convey its historical significance and that justify its eligibility for inclusion in the California Register of Historical Resources as determined by a lead agency for purposes of CEQA.

The *L.A. CEQA Thresholds Guide* states that a project would normally have a significant impact on a significant resource if it would cause a substantial adverse change in the significance of a historical resource as defined in Section 15064.5 of the State *CEQA Guidelines* when one or more of the following occurs:

- Demolition of a significant resource that does not maintain the integrity and significance of a significant resource;
- Relocation that does not maintain the integrity and significance of a significant resource;

<sup>62</sup> L.A. CEQA Thresholds Guide, Section D.3. Historical Resources, City of Los Angeles, 2006, p. D.3-1

- Conversion, rehabilitation, or alteration of a significant resource which does not conform to the Standards; or
- Construction that reduces the integrity or significance of important resources on the site or in the vicinity.<sup>63</sup>

Under CEQA, a proposed development must be evaluated to determine how it may impact the eligibility of a district, structure(s) or a site for designation as a historic resource. The Standards were developed as a means to evaluate and approve work for federal grants for historic buildings and then for the federal rehabilitation tax credit (see 36 Code of Federal Regulations (“CFR”) Section 67.7). Similarly, the Los Angeles Cultural Heritage Ordinance provides that compliance with the Standards is part of the process for review and approval by the Cultural Heritage Commission of proposed alterations to City Historic-Cultural Monuments (see Los Angeles Administrative Code Section 22.171.14.a.1). Similarly, CEQA recognizes the value of the Standards by using them to demonstrate that a project may be approved without an EIR if a project complies with the Standards. In effect, CEQA has a “safe harbor” by providing either a categorical exemption or a negative declaration for a project which meets the Standards (see State *CEQA Guidelines* Section 15331 and 15064.5(b)(3)). Alternatively, however, if a project does not strictly comply with the Standards, an EIR may not be necessary because CEQA impacts to historic resources could still be less than significant.

## Thresholds of Significance

In accordance with Appendix G of the State CEQA Guidelines, a project would have a significant impact related to historical resources if it would:

***Threshold: Cause a substantial adverse change in the significance of an historical resource pursuant to Section 15064.5***

In assessing the Project’s potential impacts related to historical resources in this section, the City has determined to use Appendix G of the State CEQA Guidelines as its thresholds of significance. The factors below from the 2006 L.A. CEQA Thresholds Guide (Thresholds Guide) will be used where applicable and relevant to assist in analyzing the Appendix G question:

- Demolition of a significant resource;
- Relocation that does not maintain the integrity and significance of a significant resource;
- Conversion, rehabilitation, or alteration of a significant resource which does not conform to the *Secretary of the Interior’s Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings*; or
- Construction that reduces the integrity or significance of important resources on the site or in the vicinity.

<sup>63</sup> L.A. CEQA Thresholds Guide, Section D.3. Historical Resources, City of Los Angeles, 2006, p. D.3-1

## Methodology

Under CEQA, the evaluation of impacts to historical resources consists of a two-part inquiry: (1) a determination of whether the Project Site contains or may otherwise impact any historic resource(s), and, if so, (2) a determination of whether the Project would result in a “substantial adverse change” in the significance of the identified resource or resources.<sup>64</sup>

## 6.2 Project Description

The proposed Project would include the construction of a new 17-story apartment building, and the demolition of the existing two-story commercial building at 5604-5606 Hollywood Boulevard and the three-story apartment building at 1655 N. St. Andrews Place. Drawings for the proposed Project, dated September 16, 2020 were created by HKS Architects, Inc. (drawings included in **Appendix X**).

The Project Site is comprised of four adjacent parcels with frontage on Hollywood Boulevard to the north, St. Andrews Place to the east, and Carlton Way to the south with a lot area of 37,135 square feet. BWC/St. Andrews, LP (the Applicant) proposes construction of a 196 feet in height apartment building with 200 units, including 20 affordable units, and 222,694 square feet of floor area (**Figures 61, 62, 63, 64, and 65**). The building would be comprised of three interconnected volumes organized vertically, which would descend in height stepping down from the north along Hollywood Boulevard to the south along Carlton Way. The building is set back from Hollywood Boulevard to the north, and abuts the sidewalk along St. Andrews Place to the east. The building would include flat roofs, terraces, floor-to-ceiling glass walls, floating balconies, and opaque paneling.

The building’s north facade along Hollywood Boulevard represents the tallest vertical volume that comprises the design; the tower would be articulated as two different massings on this façade as connected by a vertical glass hyphen in the center of the tower that works to them. One of the two massings—the one that is closest to the corner of Hollywood Boulevard and St. Andrews Place) would be articulated with a higher volume than the other, giving the façade an asymmetrical appearance. The lower massing has a roof garden located upon it. Each side of the tower, as arranged around the central glass hyphen, would be articulated as an individual apartment unit with floor-to-ceiling windows and floating balconies with glass panel railings. The eastern portion of the north facade’s ground floor would be stepped back and include exposed structural columns along the entrance. The western portion of the ground floor would include a projecting 1-story volume that meets the sidewalk to the north, offering pedestrian access to a multi-level open-air terrace that lines the length of the western elevation. The terrace would resemble an exterior staircase, rising from the ground floor to a landscaped patio at the fourth floor. The terrace surmounts a connected parking garage, and would span two levels below ground and two levels above ground. A rooftop lounge would sit at the tip of the tallest vertical volume.

<sup>64</sup> Pub. Res. Code § 21084.1; CEQA Guidelines § 15064.5

The building steps down twice with a 12-story volume and a 7-story volume along St. Andrews Place, as visible along the east elevation, with the 7-story volume extending to the south. The east elevation is clad in glass and opaque paneling, organized in regularly spaced vertical bands. Individual apartment units include floor-to-ceiling windows and floating balconies with glass panel railings. At the ground floor, a double door pedestrian entrance would sit toward the north, while vehicular access to the subterranean parking garage would sit toward the south.

The south elevation would comprise the building's shortest volume, extending only 7-stories from the ground. A landscaped walkway would sit at the ground floor. The second and third floors would protrude from the elevation, creating a landscaped patio at the fourth floor. This landscaped patio would include a glass railing along the perimeter, and would connect to the multi-level open-air terrace extending from the north elevation. Beyond the landscaped patio at the fourth floor, the flat elevation would rise four stories, and each floor would include floor-to-ceiling windows and floating balconies with glass panel railings, bisected by a panel of opaque material. A landscape rooftop terrace would sit atop the seventh floor of this volume, which would include slight southern projection and a glass railing.



5600 Hollywood Boulevard HRA/ 202000095.00

SOURCE: HKS Architects, Inc.

**Figure 61**  
 Rendering of west elevation as viewed from Hollywood  
 Boulevard, looking southeast



5600 Hollywood Boulevard HRA/ 202000095.00

SOURCE: HKS Architects, Inc.

**Figure 62**  
Rendering of north facade, looking south



5600 Hollywood Boulevard HRA/ 202000095.00

SOURCE: HKS Architects, Inc.

**Figure 63**  
Rendering of east elevation, looking west



SOURCE: HKS Architects, Inc.

5600 Hollywood Boulevard HRA/ 202000095.00

**Figure 64**  
Rendering of south elevation (left) and east elevation (right)  
as viewed from Carlton Way, looking northwest



SOURCE: HKS Architects, Inc.

5600 Hollywood Boulevard HRA/ 202000095.00

**Figure 65**  
Rendering of south elevation, looking north

## 6.3 Analysis of the Project

**Threshold (a):** Would the Project cause a substantial adverse change in the significance of a historical resources pursuant to Section 15064.5?

### Impacts to Resources Within the Project Site

The parcels located at 5600 Hollywood Boulevard and 5607 Carlton Way do not have any building improvements upon them; therefore, no historical resources are present on these two subject properties. The subject property located at 5604-5606 Hollywood Boulevard has a two-story vernacular commercial building erected upon it that has poor integrity and does not meet the threshold for listing as a historical resource under any of the applicable federal, state, or local criteria, and, therefore, it is not considered a historical resource pursuant to CEQA. The subject property located at 1655 N. Saint Andrews Place has a three-story multi-family, Dingbat/Stucco Box apartment building erected upon it (the ground floor is a soft-story with tuck-in parking spaces, and there are two levels of living units located on the levels above it). Executed in the Mid-Century Modern style, the building does not possess adequate integrity to convey significance either as a example of the Dingbat/Stucco Box prototype or as an example of the Mid-Century Modern Style. Therefore, does not meet the threshold for listing as a historical resource under any of the applicable federal, state, or local criteria, and is not considered a historical resource pursuant to CEQA. Therefore, the Project would not have a significant impact on a historical resource with respect to the proposed demolition of either the subject property located at 5604-5606 Hollywood Boulevard or the subject property located at 1655 N. St. Andrews Place, and no further evaluation is required for compliance with CEQA.

### Impacts to Resources in the Project Vicinity

#### Indirect Impacts

Additionally, research included the analysis of impacts to known historical resources within the 0.25-mile radius of the proposed Project Site to see if the Project would result in setting/visual character impacts on the surrounding area and to determine if the Project would be compatible with these nearby historic resources. As described earlier in this report, there are 47 previously identified historic resources within 0.25 miles of the subject properties. Of these, five (5) have direct views of the subject properties, and each of them are located approximately one-blockaway from the Project Site, including the following:

- 5611 Carlton Way, an Art Deco style apartment, constructed in 1930
  - Located immediately west and southwest of the Project site
- 5601 Hollywood Boulevard, a Googie style motel, constructed in 1956
  - Approximately 62 feet north of the Project site
- 5611 Hollywood Boulevard, a Renaissance Revival style commercial building
  - Approximately 62 feet north of the Project site

- 5618 Hollywood Boulevard, The California Bank
  - Approximately 65 feet west and northwest of the Project site
- 5552 Carlton Way, The Dunning House (LA HCM# 441)
  - Approximately 95 feet southeast of the Project site

The identified historical resources range from a single-family building, commercial buildings, and apartment buildings dating from the early 20<sup>th</sup> century to a mid-20<sup>th</sup> century hotel executed in the Googie style, and their locations relative to the Project site are shown in **Figure 66, *Historical Resources with Direct Views of Project Site***. The property located at 5611 Carlton Way is the closest to the proposed Project, as it is located immediately adjacent to the Project site to the west and stands at five stories. The other four resources are comparable in height to the two buildings currently located on the Project site; each one is two stories or less. Although the proposed Project—at 17 stories in height—is substantially higher than any of the historical resources in the area, there are no historic districts in the area that would require height limits in order to ensure compatibility of scale with district contributors. Moreover, the only historical resource to which the proposed Project is immediately adjacent is the property at 5611 Carlton Way. This Art Deco style building is architecturally articulated only on the primary (south) façade; there are no character-defining features on the secondary (side) elevations other than wooden hung windows at the location of individual apartment units as the side elevations are treated in a very utilitarian manner. Therefore, the proposed Project would not visually obscure any decorative character-defining features that help this building to convey its significance as an Art Deco style apartment building, as all of the decorative features characteristic of the style are only located on the primary façade.

Furthermore, the proposed Project would not substantially degrade the existing visual character or quality of the existing historical resources and their surroundings. Based upon survey and review of existing conditions, the predominant character of the Irving Park tract—in which the Project sits—is that it is made up of a variety of building heights and densities. Mixed commercial low-rise developments sit along Hollywood Boulevard, the main arterial; residential single-family low-rise and multi-family low-rise and mid-rise developments of varying densities, heights, footprints and architectural styles—with construction dates that span from the 1900s to the 2000s—line the sidestreets that comprise the tract. In addition, the original character of the Irving Park Tract has been substantially altered with the addition of more recent infill. For instance, the two-story apartment building located at 5643 Carlton Way was constructed in 1964; the five story apartment building located at 1660 N. Wilton Place was constructed in 1990; the four story apartment building located at 5623 Carlton Way was constructed in 1992 as was also the two-story apartment building located at 5617 Carlton Way; and the five story apartment building located at 5633 Carlton Way was constructed in 2011. Because the setting of the five (5) identified historical resources in the Project vicinity is characterized by buildings of different densities, heights, footprints, and architectural styles, the Project would not materially impair their historical significance or integrity.

The construction of the Project would not be a significant impact under CEQA because it would not materially impair the significance of the historical setting such that the five (5) identified

historical resources would be rendered ineligible for local listing and therefore impacts remain less than significant. Hence, the Project would not substantially change or materially impair the eligibility of the historical resources, either directly, indirectly, or cumulatively.



SOURCE: Mapbox; ESA, 2020.

5600 Hollywood Boulevard

**Figure 66**  
Historical Resources with Direct Views of Project Site

## Secretary of the Interior's Standards Reviews

Under CEQA, a project that follows the *Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings* or the *Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings* (1995), Weeks and Grimmer, shall be considered as mitigated to a level of less than a significant impact on the Historical Resource.<sup>65</sup> New construction adjacent to a historical resource is considered “related new construction” and numbers nine (9) and ten (10) of the Standards apply to this Project. Therefore, the Project was assessed for conformance to Standards nine and ten regarding “related new construction” constructed adjacent or in the vicinity of other historical resources.

*9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*

The proposed Project at 5600 Hollywood Boulevard entails the construction of a new apartment building at the subject properties, rather than exterior alterations to an existing structure. The extant structures at the Project site do not contain historical resources, as both 5604-5606 Hollywood Boulevard and 1655 N. Saint Andrews Place appear to be ineligible as an individual resources or as contributors to a potential locally eligible district, as discussed in the significance evaluation section above. Furthermore, the existing improvements on the subject property do not contribute to the eligibility of any of the surrounding resources. The new construction would occur entirely within the subject properties and would not physically impact any adjacent properties outside of the project site.

The Project vicinity is characterized by buildings of different heights densities, heights, footprints and architectural styles. The new building would be differentiated from the existing four historical resources in the vicinity, and will be compatible with their historic materials, features, and proportion, and massing in order to protect their historic integrity with respect to their setting. With respect to these five historical resources, none of the other aspects of their integrity would be potentially impacted by the Project.

The size of the proposed 17-story Project differs from the surrounding low-scale two- and four-story historical resources. However, the composition, scale and proportions of each of the proposed Project's three stepped down volumes and its architecturally modulated elevations would correspond to the surrounding historical resources and existing buildings when viewed from the street. The asymmetrical and recessed ground floor entrance at the corner of Hollywood Boulevard and Saint Andrews Place visually connects the Project to the lower pedestrian scale of the surrounding buildings as viewed from the street. The Project's opaque veneer and glass skin would help to dematerialize the perception of the Project's larger massing as viewed from the street.

<sup>65</sup> California Environmental Quality Act, 15064.5 (b)(3).

### *5611 Carlton Way*

Care has been taken in the design to distinguish the new building's articulation of its massing from adjacent historical resources, particularly along the west elevation. Designed in the Art Deco style, 5611 Carlton Way sits to the immediately west of the proposed Project, and includes stepping along its facade. The Project's stepped volumes at the upper floors mimic the stepped decoration found at the 5611 Carlton Way facade. The stepping of the proposed Project would work to reinforce 5611 Carlton Way's visual prominence along the street as viewed from Carlton Way. The proposed Project includes an open-air terrace along the west elevation, which serves to physically separate the adjacent resource from the bulk of the proposed building's massing. The open-air terrace allows for visual and physical separation from the resource located at 5611 Carlton Way by creating a void that separates it from the proposed stepped volumes of the new construction.

Along the east elevation, the facade would step down along Saint Andrews Place, providing a transition between the proposed Project's 17-story volume at the north and its lower seven-story volume at the south, allowing the seven-story volume to relate in size and scale to the surrounding lower-scale buildings. The second and third floors of the south elevation would protrude slightly from the ground floor. The protrusion would allow the new building's south elevation to maintain the street wall, preserving the residential feeling and scale along Carlton Way. The proposed Project's southern seven-story volume would be two stories taller than 5611 Carlton Way, and thus compatible with its scale.

### *5618 Hollywood Boulevard*

Designed in the Art Deco style, 5618 Hollywood Boulevard sits to the west of the proposed Project, separated by a commercial building located at 5610 Hollywood Boulevard which would be demolished as part of the Project. The proposed Project includes an open-air terrace along the west elevation, which would serve to further separate 5618 Hollywood Boulevard from the bulk of the proposed building's massing by creating a void that separates it from the proposed stepped volumes of the new construction. 5618 Hollywood Boulevard includes stepping along its centralized vertical tower, which would be reiterated in the stepped modulation and rhythm of the proposed Project through its articulation in material and skin achieved by the modeling of opaque veneer and mirrored glass fenestration, which would be organized in regularly spaced vertical bands.

The size of the proposed 17-story Project differs from the surrounding low-scale two-story resource at 5618 Hollywood Boulevard. However, the composition of each of the proposed Project's three volumes corresponds to 5618 Hollywood Boulevard when viewed from the street. As viewed from the southeast across from Hollywood Boulevard, the proposed Project's west elevation lowers in height as the building extends south. The four-story central Art Deco tower at 5618 Hollywood Boulevard would still be visually prominent against the new Proposed building, because its tallest volume would provide a generally flat backdrop with its flush west elevation and clear glass balconies. The tower, rising vertically, would still be visually prominent due to the amount of space between

5618 Hollywood Boulevard and the proposed Project, as an entire building separates the two. Further, the Project's stepped volumes at the upper floors mimic the stepped decoration found at the 5618 Hollywood Boulevard's centralized tower, and would work to heighten 5618 Hollywood Boulevard's visual prominence along the street as viewed from Hollywood Boulevard.

*5611 Hollywood Boulevard, 5601 Hollywood Boulevard and 5552 Carlton Way*  
5611 Hollywood Boulevard, and 5601 Hollywood Boulevard are located north of the Project site, and are physically separated from the Project site by Hollywood Boulevard. 5552 Carlton Way is located to the southeast of the project site, and is physically separated from the Project site by both Carlton Way and Saint Andrews Place. As these three buildings are physically separated from the Project, the distance is too far to materially affect the eligibility of these resources. The Project's distanced location relative to the resources would not effect their architectural character nor their visibility from the street.

In summary, the proposed Project would minimally affect distinctive spatial relationships that characterize the surrounding historical resources. Existing spatial relationships between surrounding lower scale buildings and the street would be somewhat affected by the construction of a 17-story building due to its massing and scale. However, the modulation and stepping back of the proposed Project at various intervals would achieve both differentiation and compatibility with the surrounding buildings, and particularly with 5611 Carlton Way which is located immediately adjacent to the Project site. The new work would be compatible with the historic materials, features, proportion, and massing of the potential historical resource in order to protect the integrity of the surrounding historical resources and their environment. **Therefore, the Project would conform to Standard 9.**

*10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

The Project does not propose to make any changes to historic materials or alter features that define the character of any historical resources in the immediate area. If the new construction were to be removed in the future, the essential form and integrity of the adjacent historical resource at 5611 Carlton Way—as well as the other four historical resources in the Project vicinity—would be unimpaired. **The proposed Project conforms to Standard 10.**

## 6.4 Groundbourne Vibrations Impact

Historic buildings within 100 feet of the Project's construction were assessed for potential vibration impacts from structural damage. The affected structures include:

- 5611 Carlton Way, adjacent to the west of the Project site

- 5601 Hollywood Boulevard, approximately 62 feet north of the Project site
- 5611 Hollywood Boulevard, approximately 62 feet north of the Project site
- California Bank Building, 5618 Hollywood Boulevard, approximately 85 feet west of the Project Site
- The Dunning House (LA HCM# 441), 5552 Carlton Way, approximately 95 feet southeast of the Project site

The City of Los Angeles does not have defined criteria for assessing vibration impacts. In the absence of a set threshold, the analysis below takes into account thresholds from both the Federal Transit Administration (FTA) and Caltrans.

**Table 11, *Guideline Vibration Potential Threshold Criteria*** taken from the FTA’s Transit Noise and Vibration Impact Assessment Manual,<sup>66</sup> shows vibration damage potential threshold criteria. Fragile historic buildings are generally classified as Class IV buildings in the FTA’s Transit Noise and Vibration Impact Assessment Manual (i.e., buildings extremely susceptible to vibration damage); however, as denoted on a 1950 Sanborn map, 5611 Carlton Way is constructed of reinforced concrete and is not a Class IV building that is extremely susceptible to vibration damage. However, the building does include Art Deco decorative features such as pilasters and bas reliefs with casement windows and what appears to be a decorative cast stone door surround on the ground floor primary entrance that may be slightly more susceptible to vibration. Given these decorative features, this building is conservatively analyzed as a Class III building (i.e., non-engineered timber and masonry building) notwithstanding its Class I construction (reinforced concrete). All other historic buildings were conservatively analyzed as Class IV buildings. **Table 12, *Vibration Source Amplitudes for Construction Equipment*** identifies common construction equipment and the average vibration source amplitudes.

**TABLE 11  
GUIDELINE VIBRATION POTENTIAL THRESHOLD CRITERIA**

Structure and Condition	Maximum PPV (in/sec)
Class I. Reinforced concrete, steel, or timber (no plaster)	0.5
Class II. Engineered concrete and masonry (no plaster)	0.3
Class III. Non-engineered timber and masonry buildings	0.2
Class IV. Buildings extremely susceptible to vibration damage	0.12

KEY:  
in/sec = inches per second  
PPV = peak particle velocity  
SOURCE: FTA. September 2018, “Transit Noise and Vibration Impact Assessment Manual.”

<sup>66</sup> FTA. September 2018, “Transit Noise and Vibration Impact Assessment Manual.”

**TABLE 12**  
**VIBRATION SOURCE AMPLITUDES FOR CONSTRUCTION EQUIPMENT**

<b>Equipment</b>	<b>Reference PPV at 25 ft. (in/sec)</b>
Large bulldozer	0.089
Caisson drilling	0.089
Loaded trucks	0.076
Jackhammer	0.035
Small bulldozer	0.003

KEY:  
ft. = feet  
in/sec = inches per second  
PPV = peak particle velocity  
ND = No data  
VdB = vibration velocity decibels  
SOURCE: Federal Transit Administration, 2006 (except Hanson 2001 for vibratory rollers)

Based on the Class III building vibration threshold of 0.2 in/sec PPV, a vibration impact would occur if equipment is operated within 15 feet of the adjacent property at 5611 Carlton Way. With implementation of measure PM CULT-1 described below, vibration levels at the adjacent property (5611 Carlton Way) would not incur damage from vibrations caused by construction at the proposed Project Site. The next closest historic buildings are 5601 and 5611 Hollywood Boulevard, which are both approximately 62 feet from the Project Site. At this distance, maximum vibration levels from construction at the Project Site would be 0.023 in/sec PPV from use of large bulldozers or caisson drilling and would not exceed the Class IV building threshold of 0.12 in/sec PPV. With this limit and the greater distance to the other nearby historic buildings no damage is anticipated at such other buildings. Therefore, no impacts to historical resources are anticipated due to groundbourne construction vibrations from the proposed Project.

As noted above, the Los Angeles Municipal Code (LAMC) does not specify vibration limits. Therefore, this analysis relies on both the FTA guidelines and Caltrans thresholds. Table 13, *Guideline Vibration Potential Threshold Criteria*, identifies common construction equipment and the average vibration source amplitudes. Applying Caltrans' thresholds, all historic buildings, including 5611 Carlton Way, would be categorized as historic buildings and a threshold of 0.5 in/sec PPV applies. Based on this threshold, an impact would occur if equipment is operated within 8 feet of the adjacent property at 5611 Carlton Way. The next closest historic buildings at 5601 and 5611 Hollywood Boulevard, which are both 62 feet from the Project Site, would experience the same maximum vibration levels of .023 in/sec PPV. Given that the FTA thresholds represent a more conservative analysis, measure PM CULT-1 assumes that FTA thresholds are applied to the historic buildings and is tailored to the 0.2 in/sec PPV threshold fro 5611 Carlton Way and the 0.12 in/sec PPV threshold for all other historic buildings.

**TABLE 13  
GUIDELINE VIBRATION POTENTIAL THRESHOLD CRITERIA**

Structure and Condition	Maximum PPV (in/sec)	
	Transient Sources <sup>1</sup>	Continuous/Frequent Intermittent Sources <sup>2</sup>
Extremely fragile historic buildings, ruins, ancient monuments	0.12	0.08
Fragile buildings	0.2	0.1
Historic and some old buildings	0.5	0.25
Older residential structures	0.5	0.3
New residential structures	1.0	0.5
Modern industrial/commercial buildings	2.0	0.5
<p><b>KEY:</b> in/sec = inches per second PPV = peak particle velocity (VdB)</p> <p><b>SOURCE:</b> California Department of Transportation. April 2020. <i>Caltrans Transportation- and Construction-Induced Vibration Guidance Manual.</i></p> <p><sup>1</sup> Transient sources create a single, isolated vibration event, such as blasting or drop balls. <sup>2</sup> Continuous/frequent intermittent sources include impact pile drivers, pogo-stick compactors, crack-and-seat equipment, vibratory pile drivers, and vibratory compaction equipment.</p>		

The following measure would ensure that construction would be stopped before any damage could occur due to an unforeseen event. It is as follows: PM CULT-1

- Adjoining public and private property shall be protected from damage during construction, remodeling and demolition work in compliance with all applicable City regulations, including LAMC Section 91.3307.1. Protection must be provided for footings, foundations, party walls, chimneys, skylights and roofs.
- Construction activities shall utilize rubber-tired equipment in place of steel-track equipment whenever feasible.
- The construction contractor shall stage and warm-up construction equipment as far from nearby sensitive receptors as possible.
- No impact or vibratory pile driving shall be permitted. Drilled pile driving or other method that generates similar or less vibration shall be permitted.
- Use of large bulldozers (300 horsepower or greater) and caisson drilling related to placing piles shall not occur within 15 feet of the adjacent sensitive receptors located at 5611 Carlton Way and 5610 Hollywood Boulevard.
- Prior to the start of Project construction, the Applicant shall retain the services of a qualified structural engineer to conduct pre-construction surveys to document the conditions at the boundary of the Project Site (surveys conducted on the Project Site) adjacent to 5611 Carlton Way and document the apparent physical condition of the readily-visible features, including but not limited to the exterior building structure of the existing building at 5611 Carlton Way. The Applicant shall request access to the interior to observe interior walls and ceiling finishes. If access is denied, interior conditions would not be considered as existing physical conditions.

- The Applicant shall retain the services of a qualified acoustical engineer to review the proposed construction equipment and develop and implement a vibration monitoring system capable of documenting the construction-related ground vibration levels at the existing building at 5611 Carlton Way during demolition of the existing parking lot, excavation and pile installation, where heavy construction equipment (e.g., large bulldozer, excavator, drill rig) would be operating within 25 feet of 5611 Carlton Way. Vibration monitoring shall include the following:
  - The vibration monitoring system shall measure and continuously store the peak particle velocity (PPV) in in/sec to determine whether the groundborne vibration levels at the boundary of the Project Site adjacent to the existing buildings at 5611 Carlton Way reach 0.2 PPV in/sec. Vibration data shall be stored on a one-second interval.
- The vibration monitoring system shall also be programmed for two preset velocity levels: a warning level of 0.15 inches/second (PPV) and a regulatory level of 0.2 inches/second (PPV). The system shall also provide real-time alert when the vibration levels exceed either of the two preset levels.
  - In the event the warning level of 0.15 PPV in/sec at the façades of the existing buildings at 5611 Carlton Way, the contractor shall identify the source of vibration generation and provide feasible steps to reduce the vibration level, including, but not limited to, halting/staggering concurrent activities and utilizing lower vibratory techniques. Construction activities may then restart.
  - In the event the regulatory level 0.2 PPV in/sec (PPV) is triggered at the façades of the existing buildings at 5611 Carlton Way, the contractor shall identify the source of vibration generation and provide feasible steps to reduce the vibration level, including, but not limited to, halting/staggering concurrent activities and utilizing lower vibratory techniques. The qualified professional shall halt the construction activities in the vicinity of 5611 Carlton Way, as applicable, and visually inspect the adjacent façades of these existing buildings for any damage. Results of the inspection must be logged. Vibration measurement shall be made with the new construction method to verify that the vibration level is below the warning level of 0.15 PPV. Construction activities may then restart.
- In the event damage occurs due to construction vibration, such damage shall be repaired in accordance with the Secretary of Interiors' standards, as applicable.

## 6.5 Conclusion

The proposed project would construct a new 17-story 196 feet in height apartment building with 200 units, including 20 affordable units, and 222,694 square feet of floor area on a Project Site comprised of four adjacent parcels with frontage on Hollywood Boulevard to the north, St. Andrews Place to the east, and Carlton Way to the south. The proposed Project would not cause substantial adverse changes to historical resources within the footprint of the Project and would not substantially degrade the visual setting or eligibility of known historical resources within a

0.25-mile radius that have direct views of the Project. Furthermore, the Project's related new construction would overall conform to Standards 9 and 10 with respect to the adjacent historical resources and as such would have a less than significant impact on nearby historical resources. Additionally, construction at the proposed Project site is not anticipated to generate vibrations strong enough to damage the historical resource located at 5611 Carlton Way. Therefore, the proposed Project would not result in any substantial adverse changes to any historical resources within the vicinity of the Project as defined in Section 15064.5(b) of the CEQA Guidelines. Nonetheless, a measure to monitor construction vibration is recommended as a proactive effort to ensure that no unanticipated damage occurs to nearby historical resources.

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# Appendix A

## **Professional Qualifications**





# Margarita Jerabek, PhD

## Historic Resources Director

### EDUCATION

Ph.D., Art History,  
University of California,  
Los Angeles

M.A., Architectural  
History, School of  
Architecture, University  
of Virginia

Certificate of Historic  
Preservation, School of  
Architecture, University  
of Virginia

B.A., Art History,  
Oberlin College

### 30 YEARS EXPERIENCE

#### AWARDS

2014 Preservation  
Award, The Dunbar  
Hotel, L.A. Conservancy

2014 Westside Prize,  
The Dunbar Hotel,  
Westside Urban Forum

2014 Design Award:  
Tongva Park & Ken  
Genser Square,  
Westside Urban Forum

Preservation Design  
Awards, RMS Queen  
Mary Conservation Plan  
2012; and Restoration  
and Exhibit Design for  
Home Savings,  
Montebello, 2016,  
California Preservation  
Foundation

#### PROFESSIONAL AFFILIATIONS

California Preservation  
Foundation

Santa Monica  
Conservancy

Society of Architectural  
Historians, Life Member

American Institute of  
Architects (AIA),  
National Allied Member

Margarita Jerabek has 30 years of professional practice in the United States with an extensive background in historic preservation, architectural history, art history and decorative arts, and historical archaeology. She specializes in Visual Art and Culture, 19th-20th Century American Architecture, Modern and Contemporary Architecture, Architectural Theory and Criticism, Urbanism, and Cultural Landscape, and is a regional expert on Southern California architecture. Her qualifications and experience meet and exceed the Secretary of the Interior's Professional Qualification Standards in History, Archaeology, and Architectural History. Margarita has managed and conducted a wide range of technical studies in support of environmental compliance projects, developed preservation and conservation plans, and implemented preservation treatment projects for public and private clients in California and throughout the United States.

### Relevant Experience

Margarita has prepared a broad range of environmental documentation and conducted preservation projects throughout the Los Angeles metropolitan area and Southern California. She provides expert assistance to public agencies and private clients in environmental review, from due diligence through planning/design review and permitting and when necessary, implements mitigation and preservation treatment measures on behalf of her clients. As primary investigator and author of hundreds of technical reports, plan review documents, preservation and conservation plans, HABS/HAER/HALS reports, construction monitoring reports, salvage reports and relocation plans, she is a highly experienced practitioner and expert in addressing historical resources issues while supporting and balancing project goals.

She is an expert in the evaluation, management and treatment of historic properties for compliance with Sections 106 and 110 of the NHPA, NEPA, Section 4(f) of the Department of Transportation Act, CEQA, and local ordinances and planning requirements. Margarita regularly performs assessments to ensure conformance with the Secretary of the Interior's Standards for the Treatment of Historic Properties, and assists clients with adaptive reuse/rehabilitation projects by providing preservation design and treatment consultation, agency coordination, legally defensible documentation, construction monitoring and conservation treatment.

Margarita is a regional expert on Southern California architecture. She has prepared a broad range of environmental documentation and conducted preservation projects throughout the Los Angeles metropolitan area as well as in Ventura, Orange, Riverside, San Bernardino and San Diego counties. Beyond her technical skill, she is a highly experienced project manager with broad national experience throughout the United States. She currently manages ESA's on-call historic preservation services with the City of Santa Monica, and Los Angeles Unified School District.



# Gabrielle Harlan, Ph.D.

## Architectural Historian

### EDUCATION

Doctor of Philosophy,  
History of Art and  
Architecture, University  
of Virginia

Master of Architectural  
History, University of  
Virginia

Certificate in Historic  
Preservation, University  
of Virginia

Bachelor of Architecture,  
University of Arizona

### 20 YEARS OF EXPERIENCE

#### AWARDS

Andrew Mellon  
Foundation Fellowship  
Recipient, Huntington  
Library, San Marino,  
California, 2010

Helen Bing Fellowship  
Recipient, Huntington  
Library, San Marino,  
California, 2010

Du Pont Fellowship  
Recipient, University of  
Virginia, Charlottesville,  
Virginia, 2005

William Rucker Art and  
Architecture Fellowship  
Recipient and Du Pont  
Fellowship Recipient,  
University of Virginia,  
Charlottesville, Virginia,  
2004

Dean's Forum  
Fellowship Recipient,  
University of Virginia,  
Charlottesville, Virginia,  
2003

Arizona Women in  
Construction  
Scholarship Recipient,  
University of Arizona,  
Tucson, Arizona, 1994

Gabrielle is a senior architectural historian with more than 20 years of academic and professional experience preparing documentation to address the restoration, rehabilitation, and adaptive reuse of historic properties—including historic structures reports, preservation and interpretation plans, and National Register of Historic Places nominations. Gabrielle also has experience contributing to California Environmental Quality Act (CEQA)-level documents. She has worked primarily in California for the last ten years, and she continues to expand upon her knowledge of Southern California history by conducting primary source research and developing historic contexts.

### Relevant Experience

**Hollywood Burbank Airport Replacement Terminal EIS, Los Angeles County, CA. Architectural Historian.** The Burbank-Glendale-Pasadena Airport Authority (Authority) is proposing to replace the existing passenger terminal to enhance airport safety and meet ADA standards, to consolidate passenger and baggage screening functions, and to provide a new, modern, energy-efficient passenger terminal. The project would replace the existing 14-gate, 232,000-square-foot passenger terminal with a 14-gate passenger terminal that meets current California seismic design and FAA airport design standards. The replacement passenger terminal would be developed in accordance with modern design standards to provide enhanced passenger amenities; security screening facilities that meet the latest TSA requirements; and other airport facilities (including holdrooms, baggage claim areas, and public areas) that are designed and sized for the kinds of aircraft the airlines routinely operate. Gabrielle is the architectural historian for the project, and is providing peer review of historic resources reports to ensure they meet Section 106 requirements. She will also co-author the cultural resources section of the EIS, and analyze effects to historic architectural resources.

**Long Beach Airport (LGB) Terminal Phase II Improvements, Los Angeles County, CA. Architectural Historian.** LGB is proposing improvements to the terminal building and related facilities in order to accommodate recent increases in flight activity and to improve the passenger experience through a variety of terminal, security, and parking improvements. The Federal Aviation Administration (FAA) is the lead federal agency charged with conducting Section 106. In support of this project, ESA conducted an archaeological and historic resources inventory and evaluation for LGB. In collaboration with an ESA staff archeologist, Gabrielle prepared a Historic Properties Inventory Report that documented historic properties and potential adverse effects resulting from the project.

**Pasadena Rose Bowl Lighting Replacement Project, Pasadena, CA.**

*Architectural Historian.* The Rose Bowl Operating Company, the concessioner of a City of Pasadena-owned property, is proposing to replace the exterior pole-mounted lighting at the site, which is a National Historic Landmark listed on the National Register of Historic Places. The proposed project would modernize and improve the existing lighting at the Rose Bowl Stadium by replacing existing tower light fixtures with new modern fixtures. The overall purpose is to enhance the quality of lighting for events consistent with other stadiums, to improve the viewing experience, and to increase efficiency. In order to facilitate a successful project that would maintain the integrity of the historical resource, ESA prepared a technical memorandum analyzing the project for its conformance with the Secretary of the Interior's Standards for the Treatment of Historic Properties. The technical memorandum provided documentation in support of an application for a categorical exemption under the California Environmental Quality Act (CEQA). Gabrielle conducted a site survey and prepared the technical memorandum.

**Long Beach Landmark List Analysis, Long Beach, CA.** *Architectural Historian.*

The City of Long Beach requested that ESA work with its list of locally-designated properties in order to ascertain which properties might be good candidates for both listing on the National Register of Historic Places and potential rehabilitation tax-credits. This effort encompasses an initial research effort to identify which local landmarks are already listed or determined eligible to the National Register of Historic Places, which ones are listed on the California Register, and which properties have previously been surveyed and assigned historical resource status codes that indicate that they are good candidates for listing. Subsequent to this initial effort, further research is being undertaken to identify the historic contexts and criteria under which potential candidates are likely eligible for listing. The intent of this research and inventory effort is so that the City of Long Beach has the necessary information at its disposal to better encourage the full utilization of the federal government's historic tax-credit incentives program for historic preservation projects within the community. Gabrielle developed the research approach and is supervising others in the completion of the research efforts.

**South Orange County Reliability Enhancement (SOCRE) Project, San Juan Capistrano, CA.** *Architectural Historian.*

San Diego Gas & Electric (SDG&E) proposed to rebuild and upgrade a portion of its transmission infrastructure in South Orange County. The purpose of the proposed SOCRE project is to increase the reliability and operational flexibility of SDG&E's South Orange County 138-kilovolt (kV) system to reduce the risk of electrical outages. The project would also upgrade aging electrical infrastructure in the South Orange County area, including SDG&E's Capistrano Substation in the City of San Juan Capistrano. The Capistrano Substation building is a 1920s-era electrical substation. In support of the project, Gabrielle prepared a Historic Resource Assessment for the building that found that it was likely eligible for listing on either the National Register of Historic Places or the California Register of Historic Resources and, therefore, a historical resource under CEQA. Gabrielle also worked with SDG&E's team to develop design project alternatives that would lessen potential impacts to the historical resource.

**National Historic Landmark Ahwahnee Hotel Comprehensive Rehabilitation Project in Yosemite National Park, CA.** *Historical Architect.* The project entailed



addressing seismic issues, ADA accessibility, and fire life safety concerns. Gabrielle's responsibilities on the project included working as a primary reviewer of all architectural planning documents for the project (including the schematic and design development drawings, an HSR, and an HFR) in order to minimize adverse effects to this National Historic Landmark and to make an assessment of effect in compliance with Section 106 of the National Historic Preservation Act.

**Update to Historic Structures Report for Hollyhock House and Historic Structures Report for the Director's House at the National Historic Landmark Barnsdall Art Park for the City of Los Angeles, Los Angeles, CA.** *Architectural Historian.*

The City of Los Angeles owns and manages a complex of buildings at Barnsdall Art Park that are designed by master architect Frank Lloyd Wright and that, together, comprise a National Historic Landmark (NHL) listed on the National Register of Historic Places. However, in 1994, the crown jewel of the NHL—the Hollyhock House— as well as other buildings in the complex sustained damage in the Northridge Earthquake, prompting a series of multi-million dollar restoration projects at the building complex over the next fifteen years. In 2008, Project Restore—a Los Angeles-based public-private partnership with a dedicated mission to restore historic city landmarks which play unique roles as centerpieces of the city's history—was awarded a \$1.935 million grant from the California Cultural and Historical Endowment for a Phase III restoration project of the building complex, and the City of Los Angeles provided \$1.935 million in matching funds. In response, the City's Bureau of Engineering initiated a project to prepare a supplemental Historic Structures Report (HSR) for Hollyhock House and a new HSR for the Director's House, another Frank Lloyd Wright building on the property. These two technical studies were necessary to support the larger restoration effort by assessing the current condition of the two buildings and providing treatment recommendations for a focused list of priorities to facilitate Phase III repairs. Gabrielle's responsibilities as one of the two leads responsible for the preparation of the two HSRs entailed working in collaboration with a Los Angeles-based environmental consulting firm to identify and engage appropriate sub-consultants to conduct studies and non-destructive testing, such as a structural engineer, a forensic water infiltration specialist, a materials conservator, and an historic fountain specialist. Gabrielle also conducted extensive primary historic research, prepared detailed condition assessments, and helped to organize a two-day visioning workshop to discuss future potential uses of the larger site with city officials and other important stakeholders.

**Historical Resource Assessment for Mariners' Medical Arts Building, Newport Beach, CA.** *Architectural Historian.* This project for the City of Newport Beach established the historic significance of a medical office building complex designed by architect Richard Neutra in the early 1960s. Gabrielle was responsible for writing the historic context and a majority of the historic research effort, as well as for directing and supervising junior staff in archival research tasks and the production of the final document.

**Rehabilitation and Reconstruction of Bob's Big Boy Broiler for the City of Downey, Los Angeles County, CA.** *Architectural Historian.* This project entailed assisting the City of Downey in identifying the remaining historic features of a 1950s Googie coffee shop, which had been subject to an illegal partial demolition. Gabrielle's responsibilities as a project manager were to identify and document

extant character-defining features of the building, to provide design collaboration for a successful rehabilitation project, and to assist in the negotiation of a Memorandum of Understanding between the city and the California Office of Historic Preservation. In 2010, the Los Angeles Conservancy awarded the project team its top honor, the President's Preservation Award.

**Victor Clothing Company Building, Los Angeles, CA.** *Architectural Historian.* The project was to assist the owner of an early twentieth-century commercial mid-rise building located in downtown Los Angeles in developing a successful approach for historic restoration of the facade and interior commercial space and elevator lobby in order to comply with the terms of a federal tax-credit. Gabrielle's responsibilities as project manager were to gather and analyze research, to coordinate the work of sub-consultants, to consult with the California Office of Historic Preservation and to prepare the required documentation for the tax-credit application.

**Hollywood Historic Resources Survey for the Los Angeles Community Redevelopment Agency, Los Angeles, CA.** *Architectural Historian.* This project was to survey potential historic resources in Hollywood and to prepare multiple historic context statements for the various property types. These ranged from large industrial film and music studios to religious facilities and civic institutions to small-scale domestic architecture. Gabrielle's primary responsibility on the project was to research and write the majority of the historic context statements, and to oversee the preparation of historic context statements by other staff. She also participated as a member of the survey team and trained junior staff on inventory methods.

**Chicago Bungalow Historic Resources Survey and Multiple Property Nomination to the National Register of Historic Places, Chicago, IL.** *Architectural Historian.* As part of a four-person team, Gabrielle surveyed two different Chicago neighborhoods—one on the north side of the city and the other on the south side—consisting primarily of early 20<sup>th</sup> century historic bungalows. This survey effort represented a pilot project, as led by the non-profit Chicago Bungalow Association, within a larger initiative sponsored by then-Mayor Richard M. Daley to document the extensive “bungalow belt” that encircles the city of Chicago and to put in place a tax incentive program for private owners to preserve and maintain them. In addition to surveying these two neighborhoods—each of which was comprised of several hundreds of single-family houses—Gabrielle researched and assisted in the preparation of historic contexts for two early 20<sup>th</sup> century neighborhoods. This resulted in a successful Multiple Property nomination to the National Register of Historic Places entitled “Chicago Bungalows” as listed on February 25, 2004.

**Historic Resources Survey of the Huning-Highlands Neighborhood, Albuquerque, NM.** *Architectural Historian.* This project encompassed surveying 200 properties for the City of Albuquerque in order that it could better evaluate the neighborhood's potential for nomination as a district to the National Register of Historic Places. Gabrielle participated on the project as a member of a three-person team in order to record all properties on survey forms.

**Historic Resources Survey and Multiple Property Document Nomination to**



# Hanna Winzenried

## Architectural Historian

### EDUCATION

MSc Historic Conservation, Oxford Brookes University

BA, European Studies, Brigham Young University

### 9 YEARS OF EXPERIENCE

### PROFESSIONAL AFFILIATIONS

The Society for the Protection of Ancient Buildings

Historic England

National Trust for Places of Historic Interest or Natural Beauty

California Preservation Foundation

Hanna is an architectural historian and historic preservation specialist with nine years of academic and professional experience, including undergraduate and graduate work in history, art history and conservation, and four years of professional experience. After earning her Bachelor of Arts degree in European Studies at Brigham Young University, Hanna completed graduate work at Oxford Brookes University, the top planning program in the United Kingdom, where she earned her Masters of Science in Historic Building Conservation (2015) with a concentration in conservation planning and preservation practices. Prior to joining ESA, Hanna spent 1.5 years as an intern and Student Professional Worker with the City of Los Angeles, Department of Planning, in the Office of Historic Resources (OHR), Historic Preservation Overlay Zones (HPOZ) Unit.

During her tenure at ESA, Hanna has continued to develop her knowledge and skills as an architectural historian and historic preservation specialist as a team member in the historic resources group at ESA, under the direction of Dr. Margarita Jerabek. Beginning as an Intern at ESA, Hanna has received several promotions in acknowledgement of her continued growth and mastery of her discipline as an architectural historian and historic preservation specialist. She currently serves as a Deputy Project Manager on many projects for ESA. Through her hands-on experience, Hanna has developed expertise in the survey, research, and assessment of historic properties for compliance with the National Historic Preservation Act (NHPA) and the California Environmental Quality Act (CEQA). She is expert in the research and preparation of property and neighborhood histories, and the development of historic contexts for the evaluation of historic properties under federal, State, and local significance criteria. Additionally, she has substantial experience in analyzing projects for potential impacts to historical resources and developing and implementing mitigation measures to reduce impacts. With a background in architectural conservation, Hanna is also a highly qualified historic preservation specialist with substantial experience providing historic preservation consultation services for rehabilitation and adaptive reuse projects, and has prepared a variety reports in support of this projects including rehabilitation plans, Standards conformance reviews, and construction monitoring.

### Relevant Experience

**Earl Carroll Theatre Mills Act Application, Los Angeles, CA.** *Architectural Historian.* Hanna was the lead organizer of the Earl Carroll Theatre Mills Act Application. Constructed in 1938, the property is significant for its association with owner-operator Earl Carroll, Hollywood nightlife, and architect Gordon B. Kaufmann. The theatre is a listed LA Historic-Cultural Monument and has been identified as eligible for the National Register. In recent years, the theatre has been rented by television network studios as sound stages, and as a result some public areas have been modified over time. Hanna compiled all of the necessary

information for the first part of the Mills Act Application, and helped to gather all of the necessary information and deliverables for the second part of the application.

**930 S. Mansfield Historic Resource Assessment and CEQA Impacts Analysis, Los Angeles, CA.** *Architectural Historian and Deputy Project Manager.* Hanna coordinated efforts to prepare an HRA which will include an update to the SurveyLA-identified Sycamore Avenue-Citrus Avenue Historic District and an impacts analysis for a proposed project at 930 S. Mansfield Avenue. As several contributing structures in the Mediterranean Revival and Spanish Revival multi- and single-family district have recently been demolished or heavily altered, the City has requested a current analysis of the remaining district in order to determine its continued eligibility. One complexity of this project involved the prior demolition of a contributing historic resource at the site, which warranted a scrupulous design review of a proposed contemporary 6-story multi-family project at the project site that will sit amidst the extant low-profile revival style buildings that comprise the historic district. Hanna helped to create recommendations for a more compliant new project design within the district.

**City of Los Angeles, Point Fermin Light Station Historic District Nomination to the National Register of Historic Places and Historic Cultural Monument Nomination, San Pedro, CA.** *Architectural Historian.* The 1874 Point Fermin Lighthouse was listed on the National Register of Historic Places in 1972. As a condition of conveyance of the Point Fermin Light Station property (which includes the lighthouse) by the U.S. General Services Administration to the City of Los Angeles for use as a museum and park, the National Register nomination for the Point Fermin Lighthouse was updated to include all buildings, objects, structures, and sites that comprise the larger Point Fermin Light Station. Hanna co-authored the updated nomination by compiling previous documentation and supplementing it with new research. At this writing, the nomination is being reviewed by the California Office of Historic Preservation. After the National Register Nomination was updated and compiled, Hanna then transferred all of the information into the format required by the City of Los Angeles for the Historic Cultural Monument nomination.

**Nelles School Site Redevelopment, Whittier, CA.** *Contributor.* ESA oversaw the documentation and architectural salvage of the Fred C. Nelles School. Brookfield Residential plans on redeveloping the whole site into a residential neighborhood while maintaining four historically significant structures. Hanna helped draft a documentation and architectural features salvage plan according to the character defining features list and oversaw the deconstruction of the other school buildings to ensure the architectural features were salvaged correctly.

# Appendix B

## Tract Map

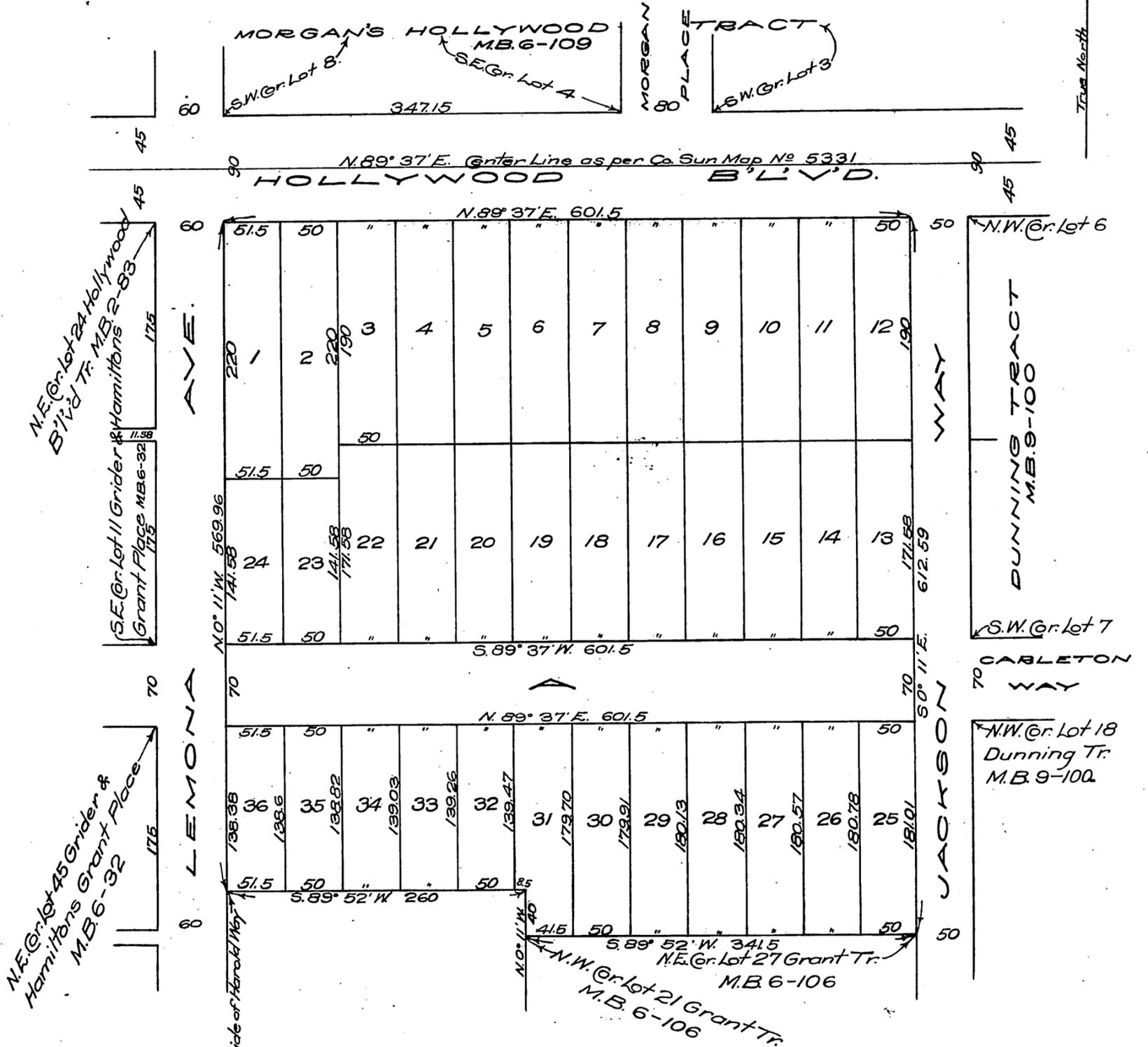


33

# IRVING PARK.

Being a Subdivision of a portion of Lot 44, of the West portion of The Lick Tract, as recorded in Book 7, page 92, Miscellaneous Records of Los Angeles County, California.

Surveyed August, 1910, by C. Fiske, Jr.  
Scale 1" = 100'



{Lot A decided to City See D: 4363-214 D: 16-34  
{Carlton Way by Ord. 21612  
Lemona Ave. changed to Wilton Place 25092  
Jackson Way " " St. Andrews Place "

Owner:- William O. Jackson.

Sht. 40  
A-220

Recorded Sep. 16, 1910.

Comp. H.C.T.

# Appendix C

## Sanborn Maps





5600 Hollywood Boulevard

5600 Hollywood Boulevard

Los Angeles, CA 90028

Inquiry Number: 6070542.3

May 20, 2020

## Certified Sanborn® Map Report



6 Armstrong Road, 4th floor  
Shelton, CT 06484  
Toll Free: 800.352.0050  
[www.edrnet.com](http://www.edrnet.com)

# Certified Sanborn® Map Report

05/20/20

**Site Name:**

5600 Hollywood Boulevard  
5600 Hollywood Boulevard  
Los Angeles, CA 90028  
EDR Inquiry # 6070542.3

**Client Name:**

ESA  
626 Wilshire Blvd  
Los Angeles, CA 90017  
Contact: Alison Garcia Kellar



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### Certified Sanborn Results:

**Certification #** D128-4AD3-A357  
**PO #** NA  
**Project** D202000095- 5600 Hollywood Blv

**Maps Provided:**

1970	1955
1969	1950
1968	1919
1966	1913
1962	1907
1961	
1960	
1957	



Sanborn® Library search results

Certification #: D128-4AD3-A357

The Sanborn Library includes more than 1.2 million fire insurance maps from Sanborn, Bromley, Perris & Browne, Hopkins, Barlow and others which track historical property usage in approximately 12,000 American cities and towns. Collections searched:

- Library of Congress
- University Publications of America
- EDR Private Collection

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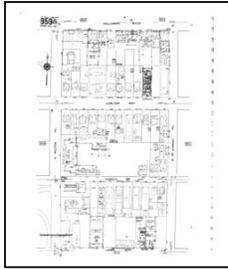
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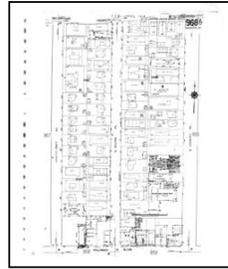
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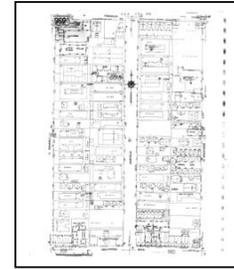
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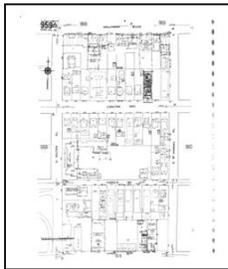


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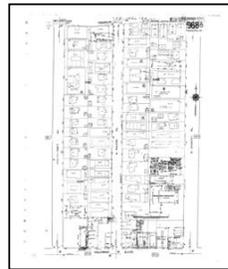
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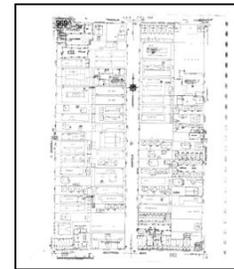
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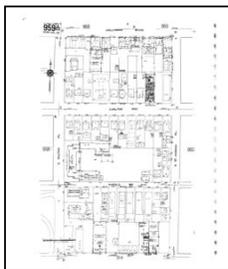


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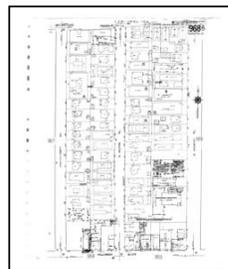
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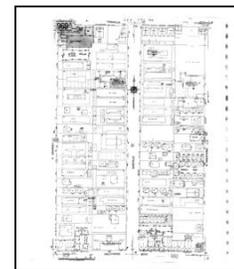
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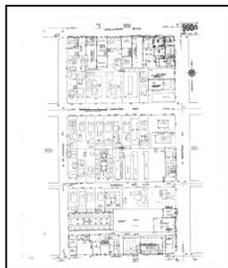


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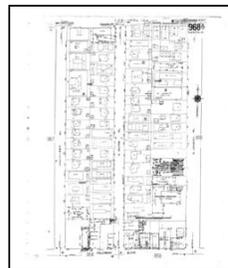
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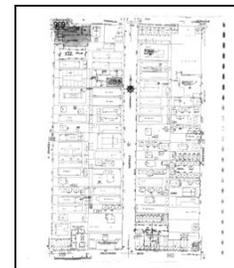
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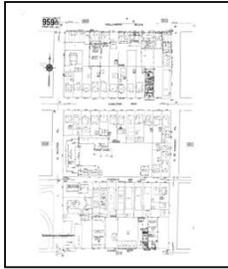
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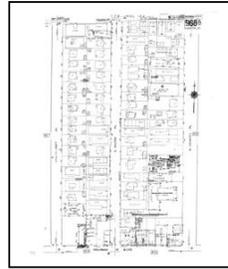
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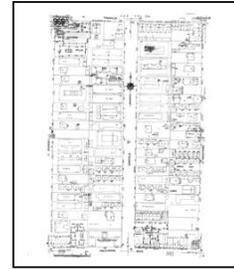
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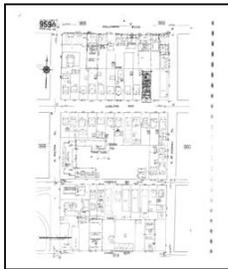


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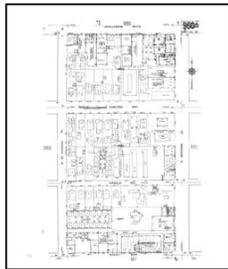


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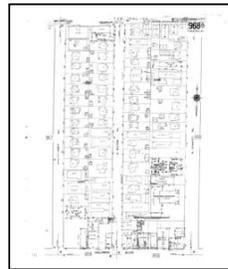
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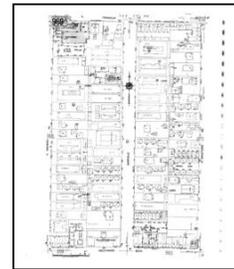
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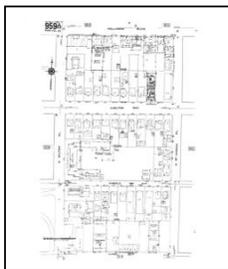


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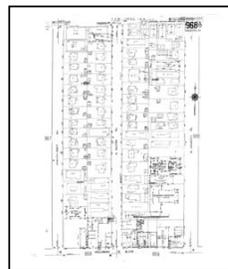
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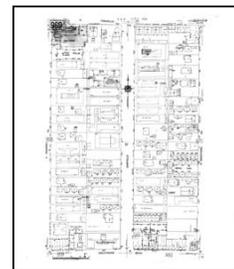
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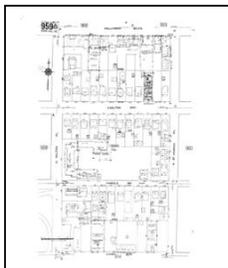


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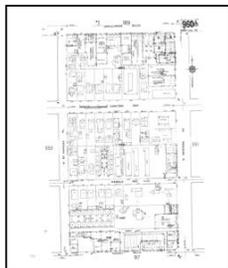


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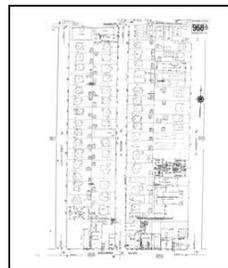
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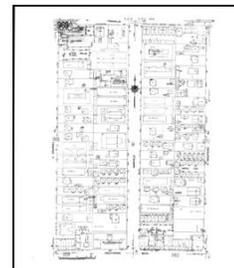
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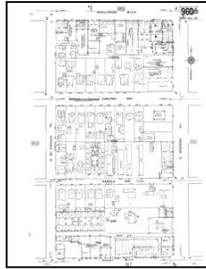
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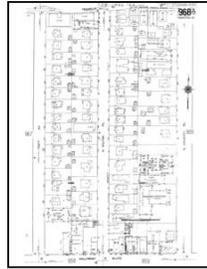
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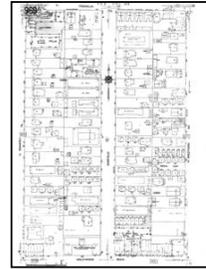
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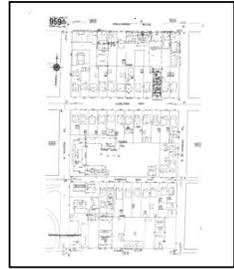
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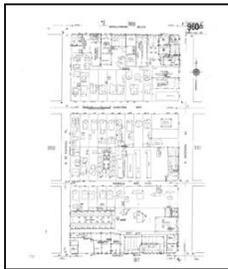
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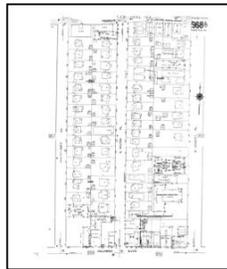
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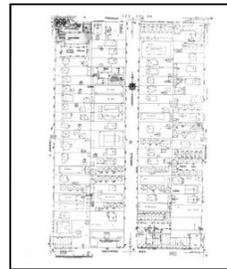
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Volume 9A, Sheet 960a  
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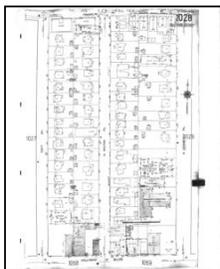


Volume 9A, Sheet 968a  
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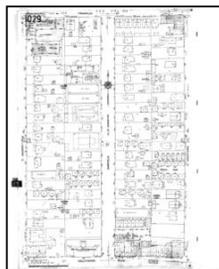


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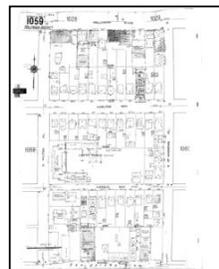
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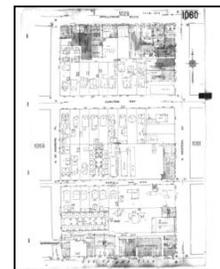
Volume 10, Sheet 1028  
1950



Volume 10, Sheet 1029  
1950

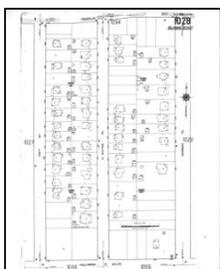


Volume 10, Sheet 1059  
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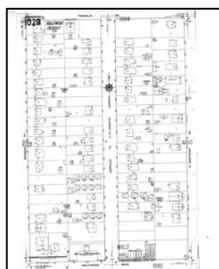


Volume 10, Sheet 1060  
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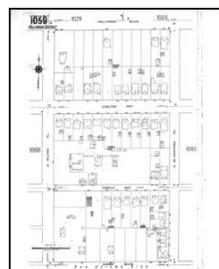
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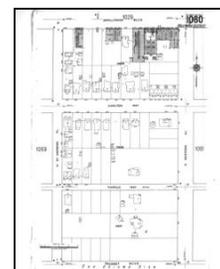
Volume 10, Sheet 1028  
1919



Volume 10, Sheet 1029  
1919



Volume 10, Sheet 1059  
1919



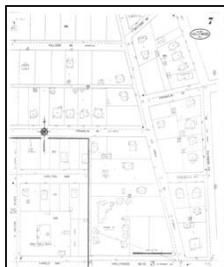
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## Sanborn Sheet Key

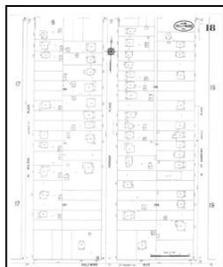
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### 1913 Source Sheets

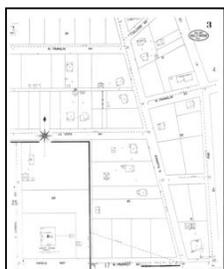


Volume 1, Sheet 7  
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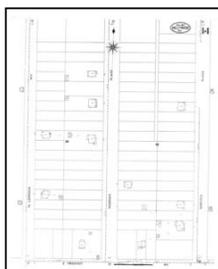


Volume 1, Sheet 18  
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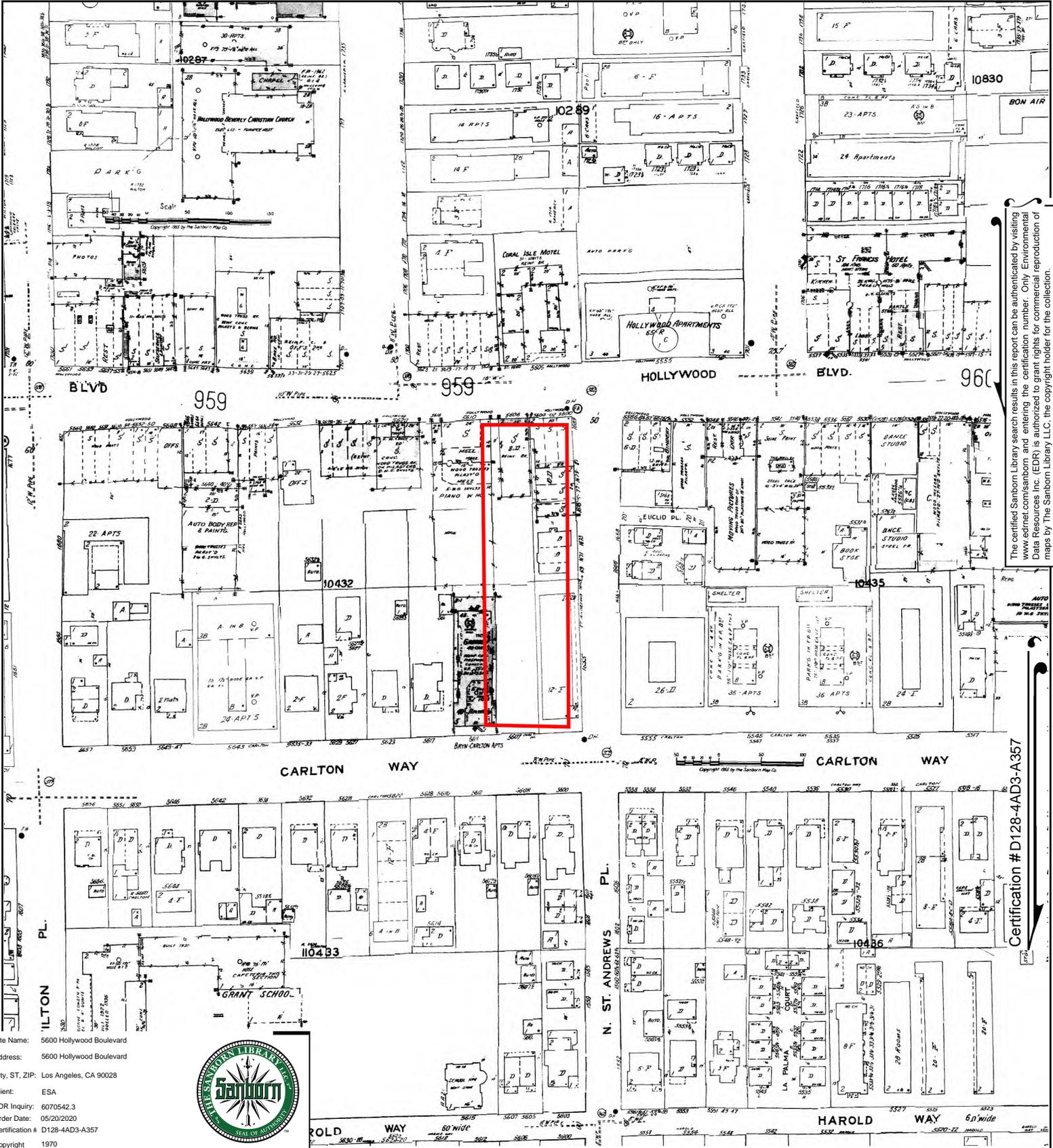
### 1907 Source Sheets



Volume 1, Sheet 3  
1907



Volume 1, Sheet 14  
1907



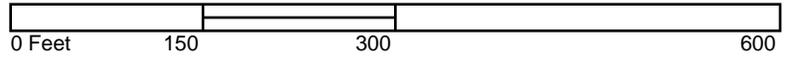
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 City, ST, ZIP: Los Angeles, CA 90028  
 Client: ESA  
 EDR Inquiry: 6070542.3  
 Order Date: 05/20/2020  
 Certification # D128-4AD3-A357  
 Copyright 1970



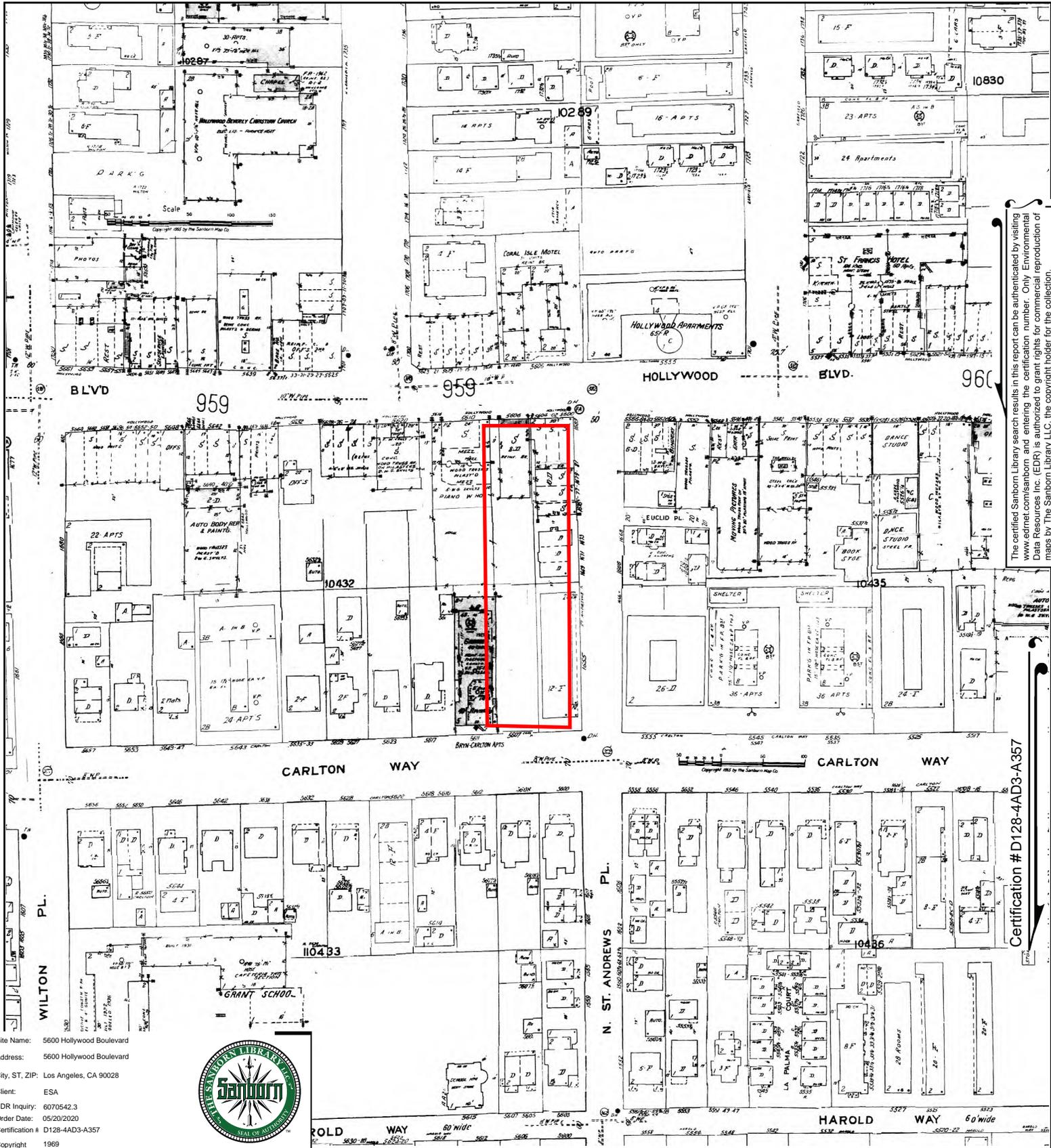
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 Outlined areas indicate map sheets within the collection.



968a	969a
959a	960a

Volume 9A, Sheet 969a  
 Volume 9A, Sheet 968a  
 Volume 9A, Sheet 960a  
 Volume 9A, Sheet 959a





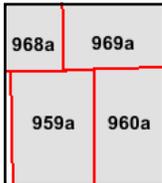
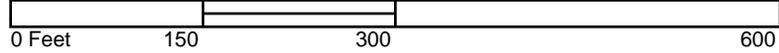
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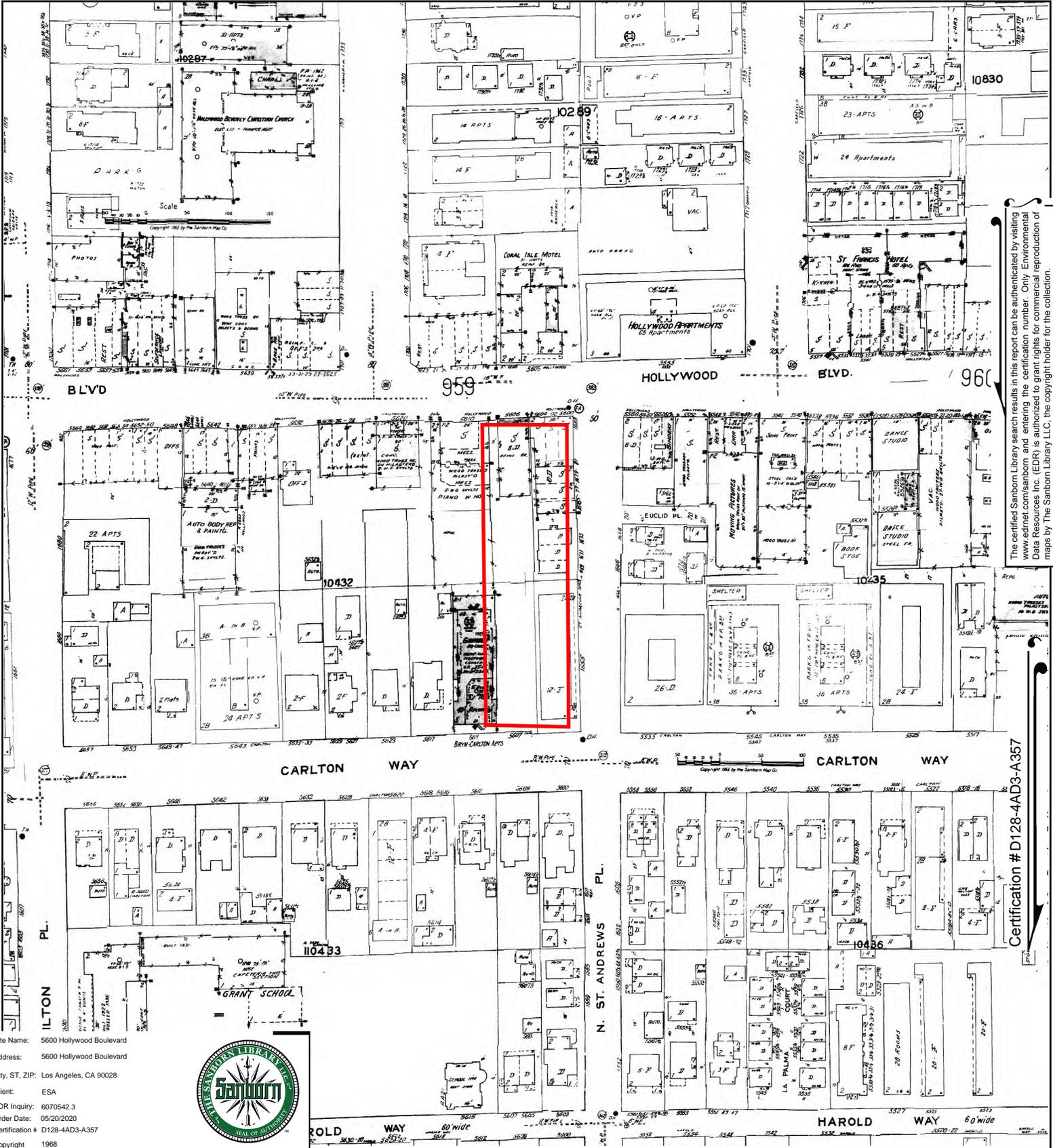


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Volume 9A, Sheet 969a  
 Volume 9A, Sheet 968a  
 Volume 9A, Sheet 960a  
 Volume 9A, Sheet 959a





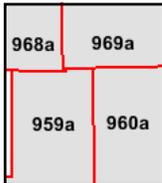
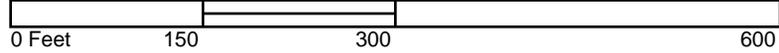
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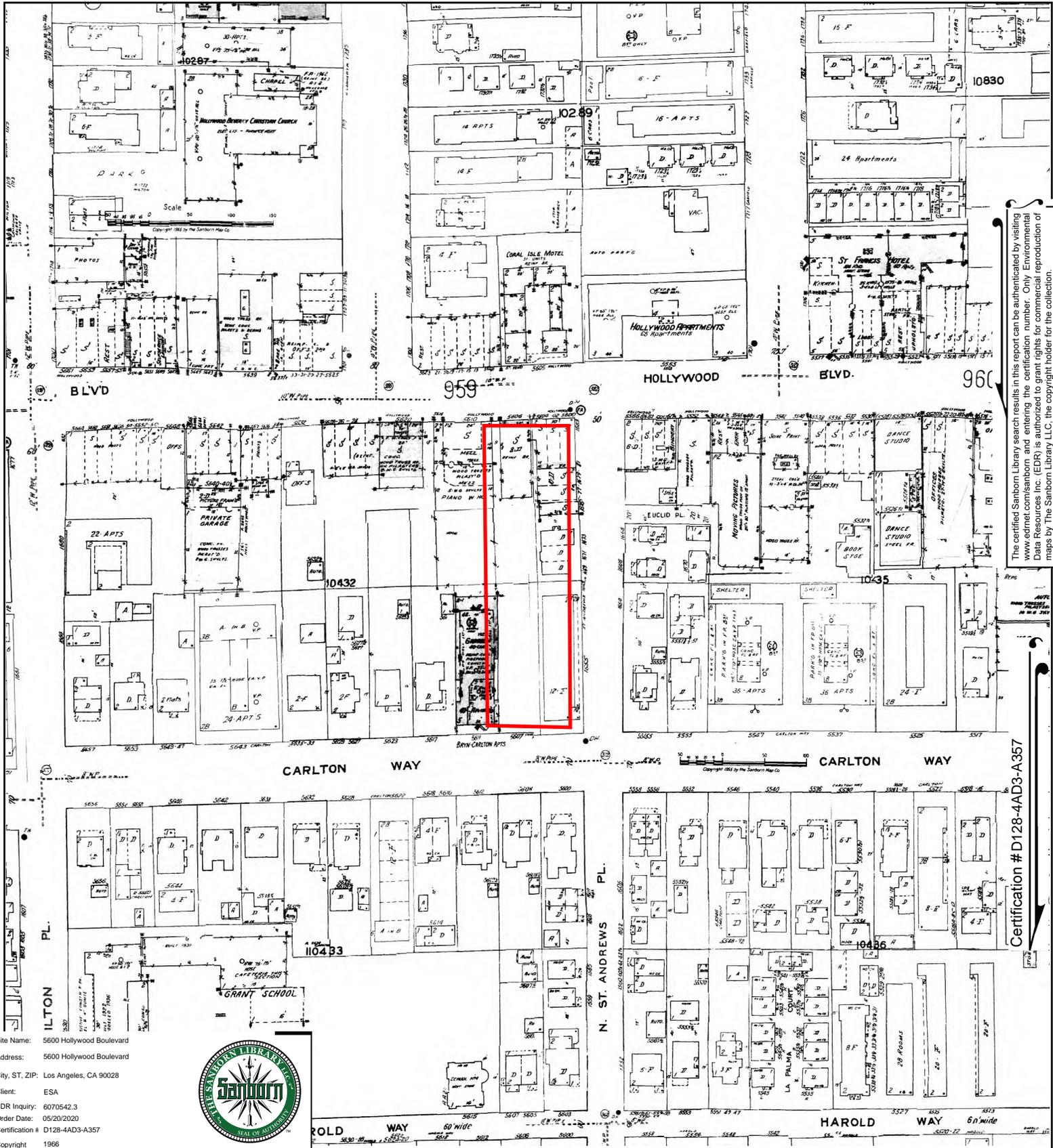


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 Volume 9A, Sheet 968a  
 Volume 9A, Sheet 960a  
 Volume 9A, Sheet 959a





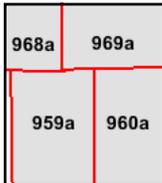
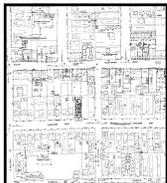
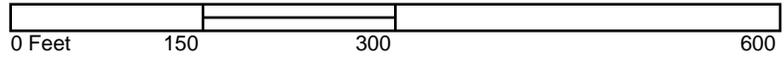
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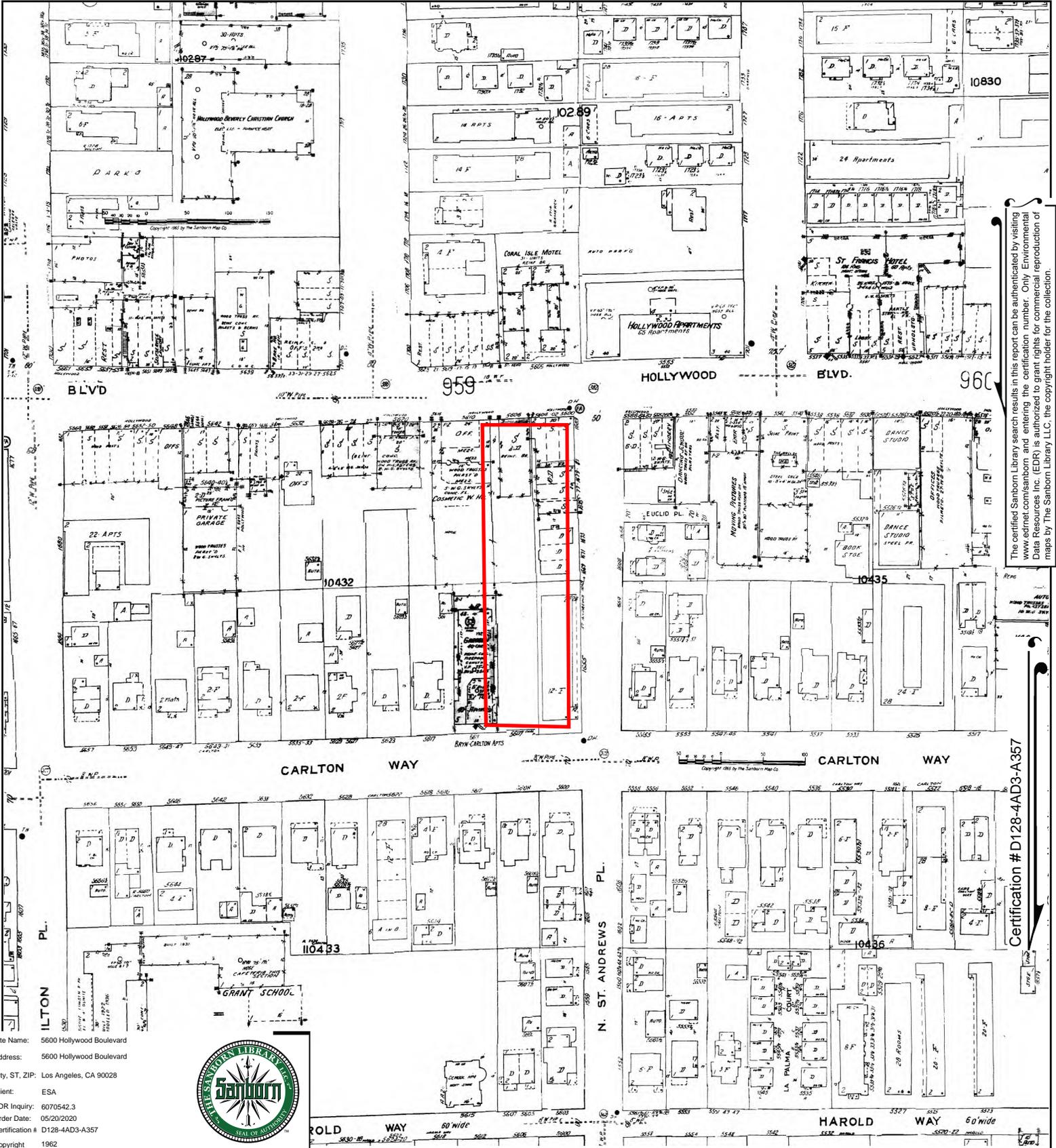


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 Volume 9A, Sheet 968a  
 Volume 9A, Sheet 960a  
 Volume 9A, Sheet 959a





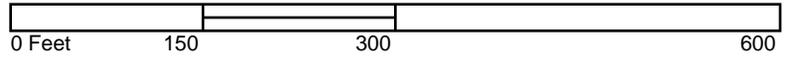
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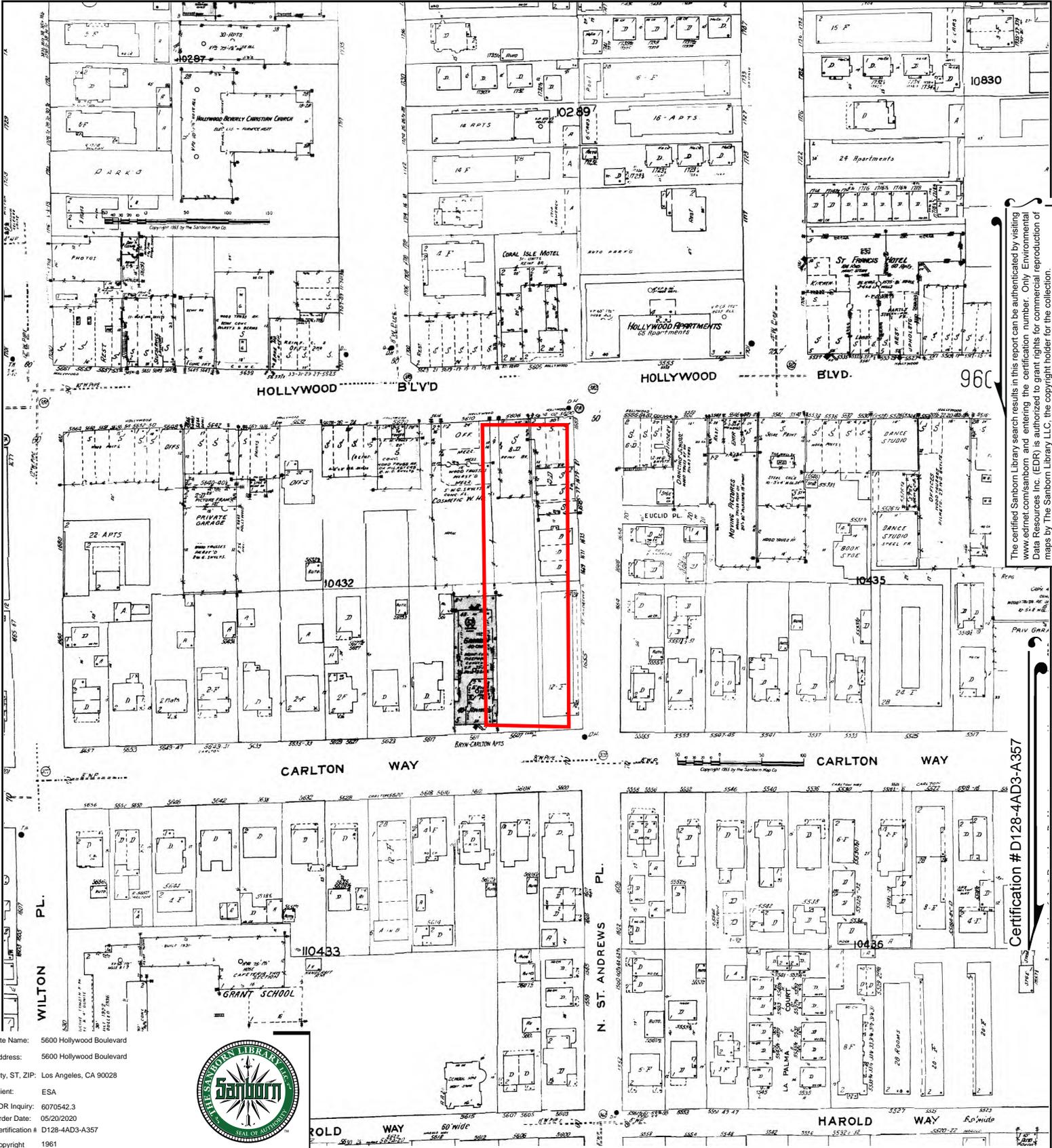
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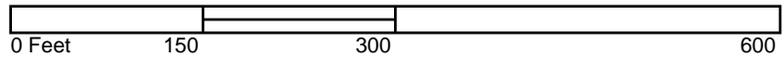
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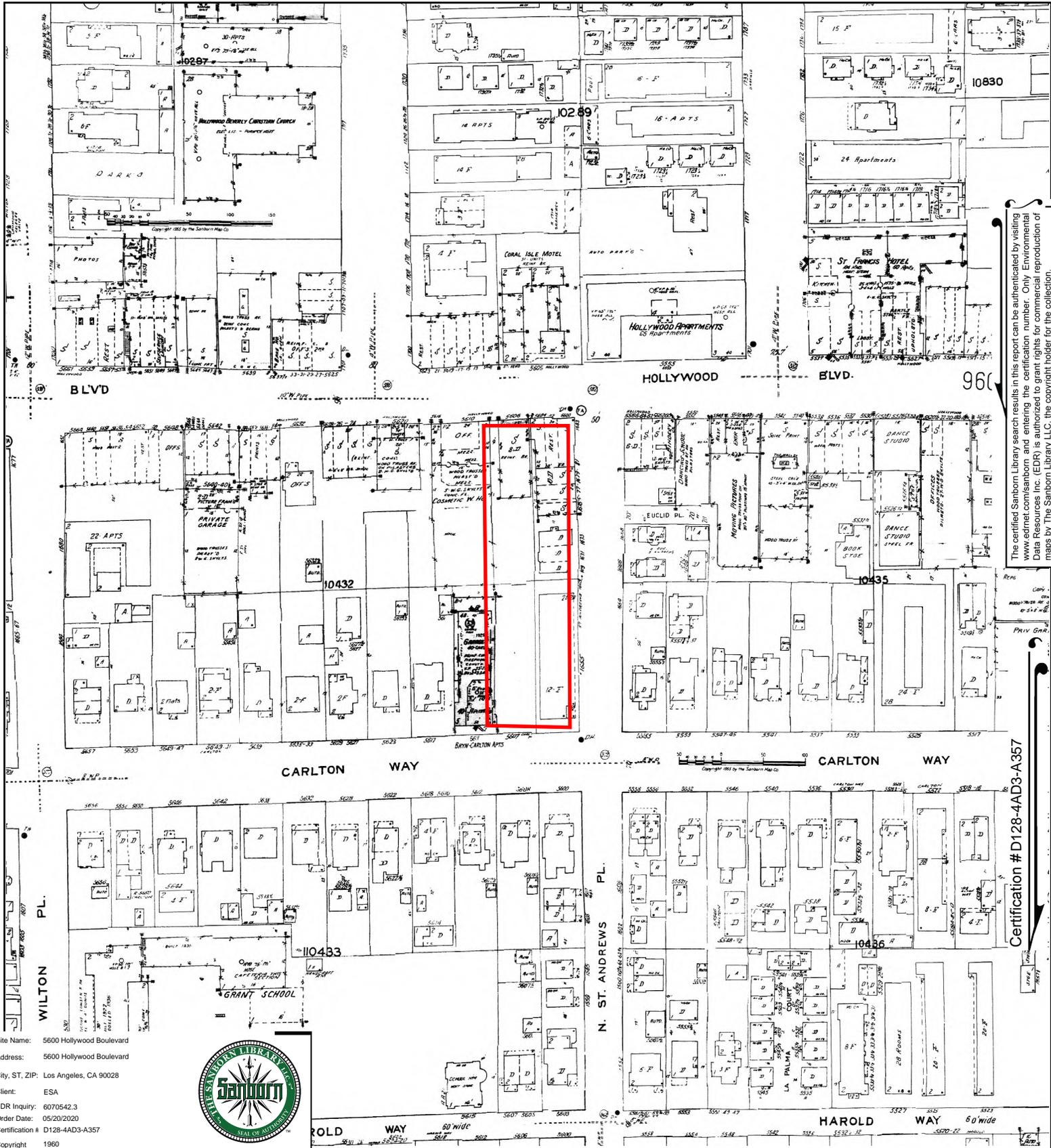
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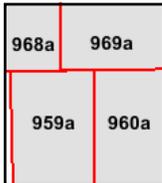
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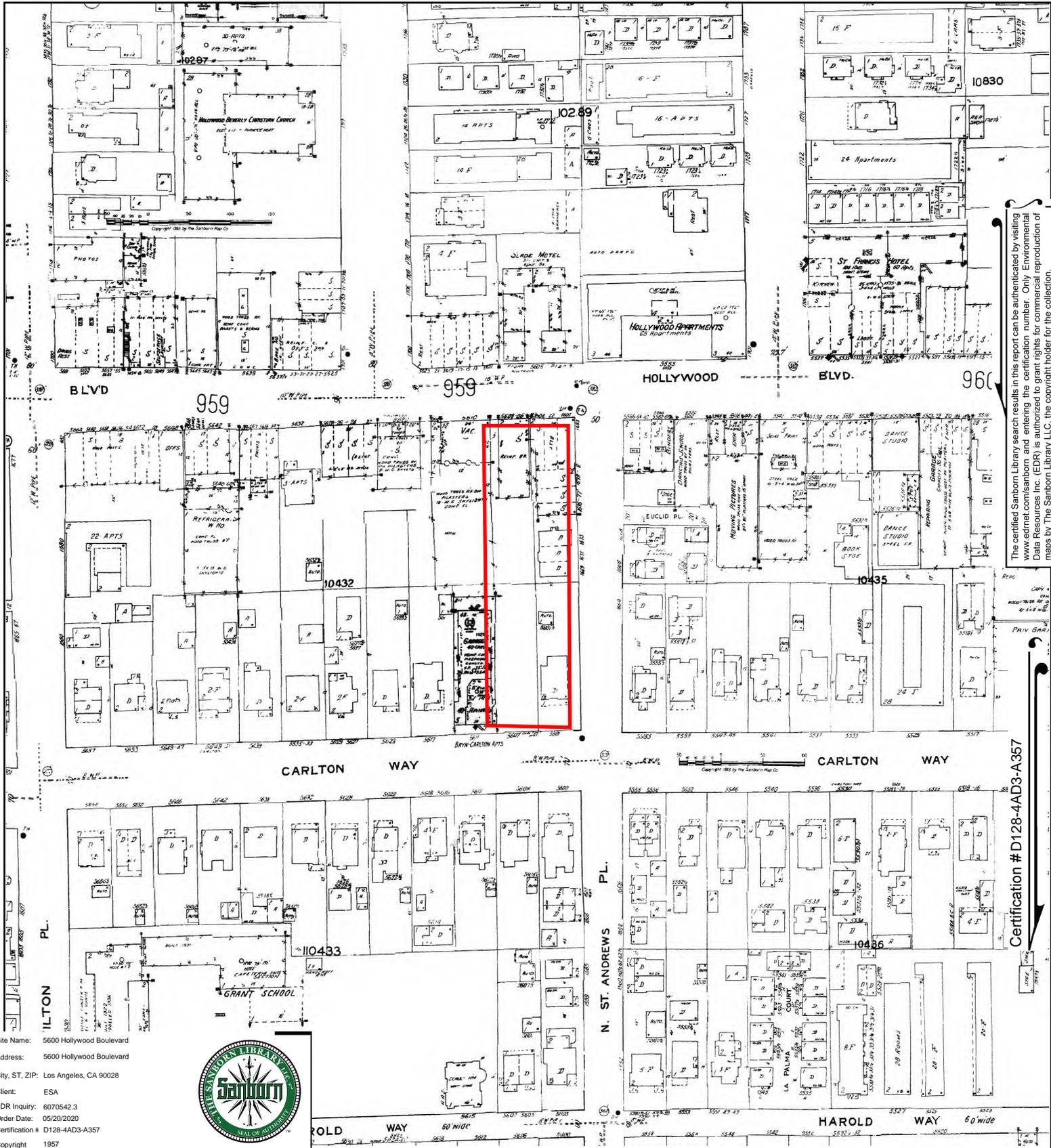


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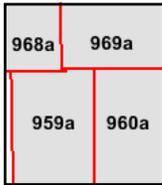
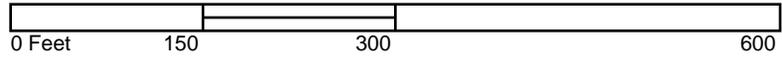
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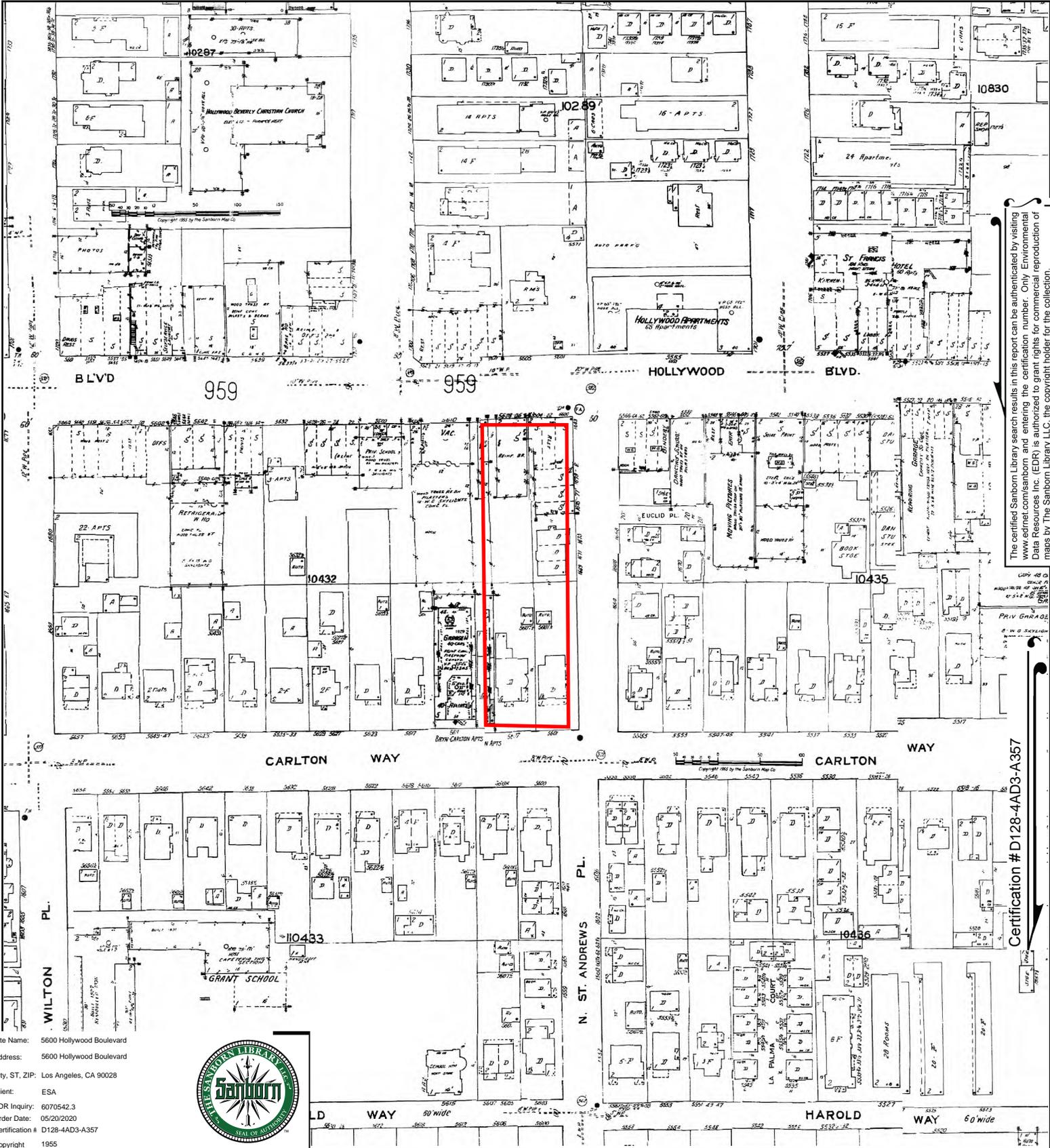


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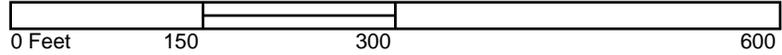
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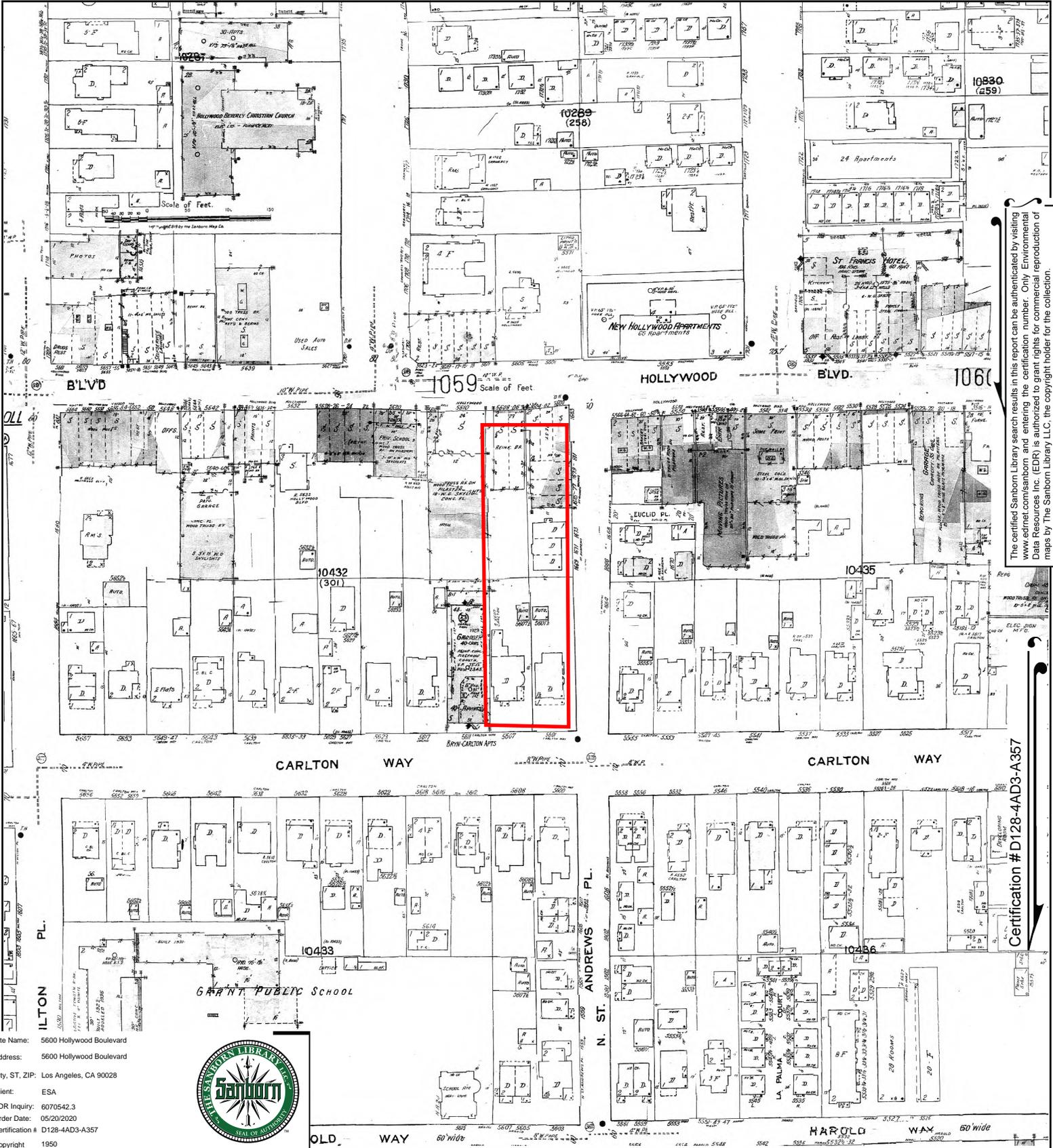
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- Volume 9A, Sheet 968a
- Volume 9A, Sheet 960a
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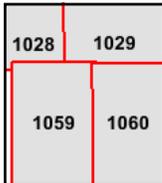
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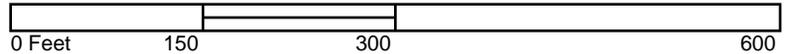
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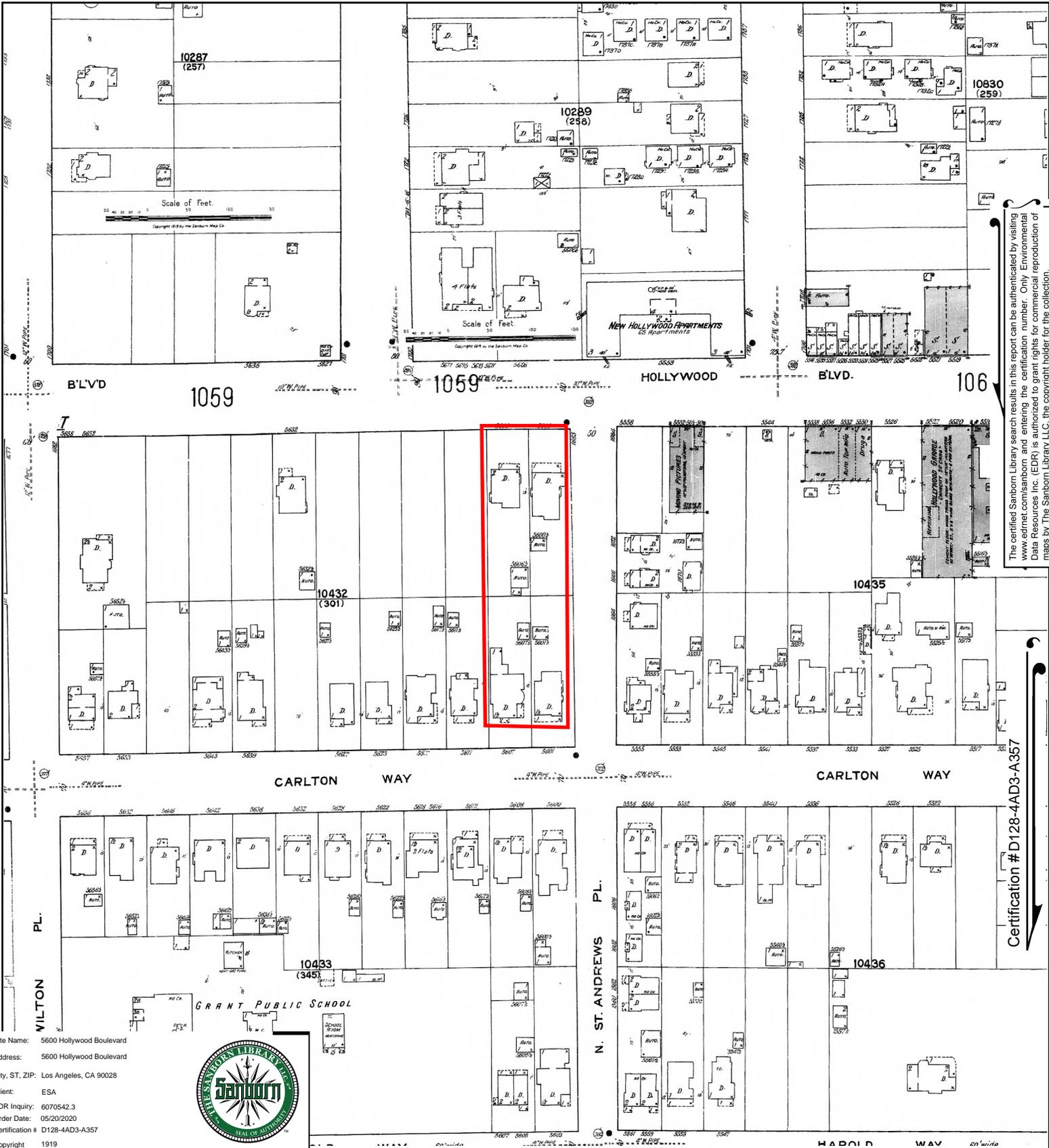


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Volume 10, Sheet 1060  
 Volume 10, Sheet 1059  
 Volume 10, Sheet 1029  
 Volume 10, Sheet 1028





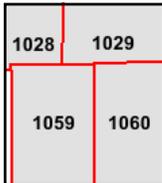
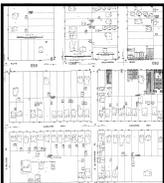
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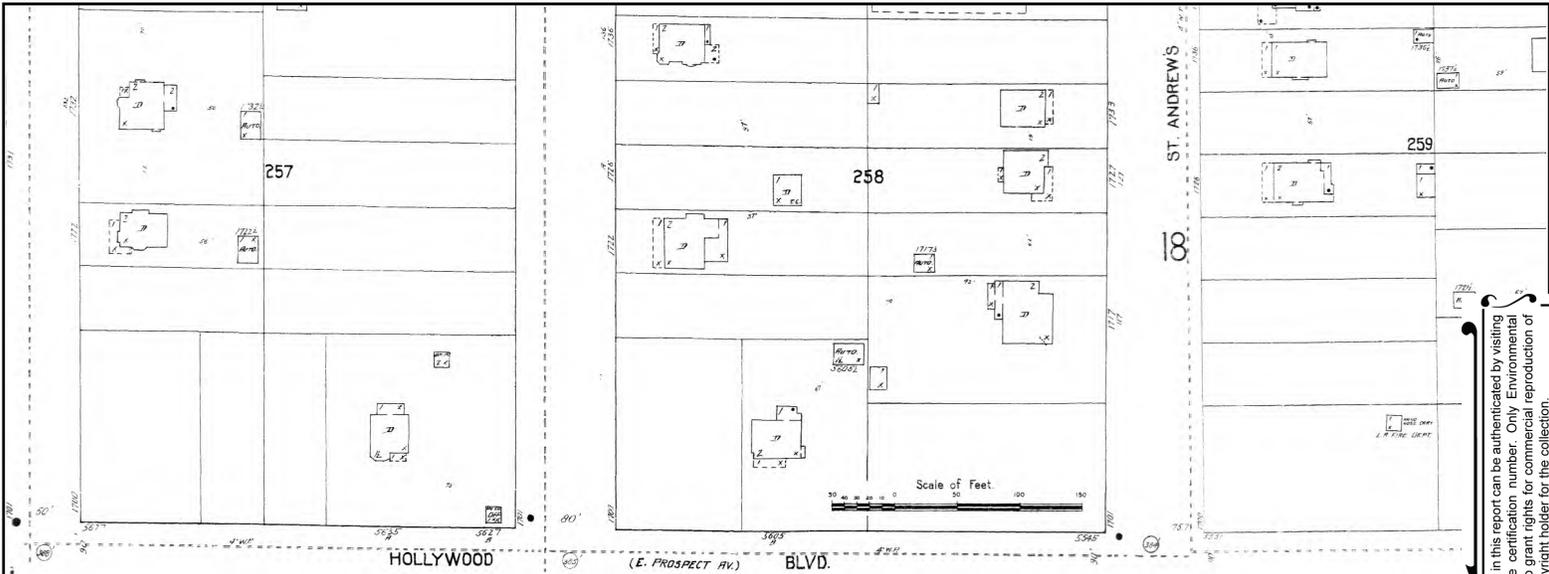


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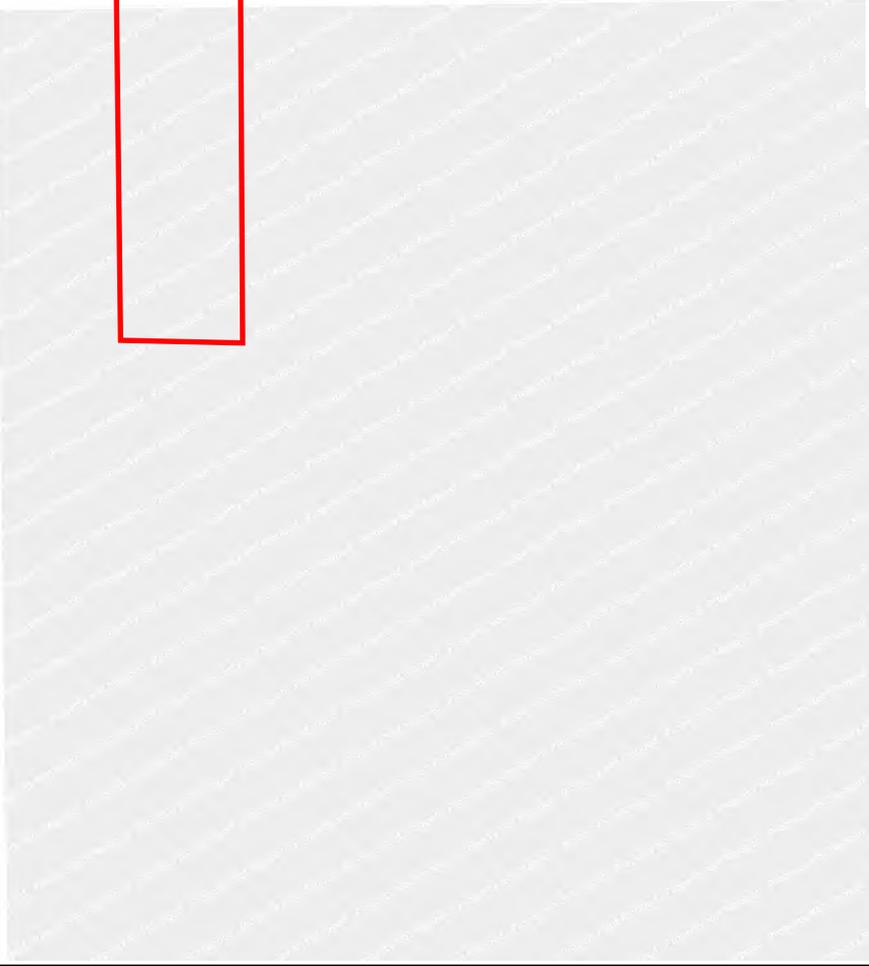
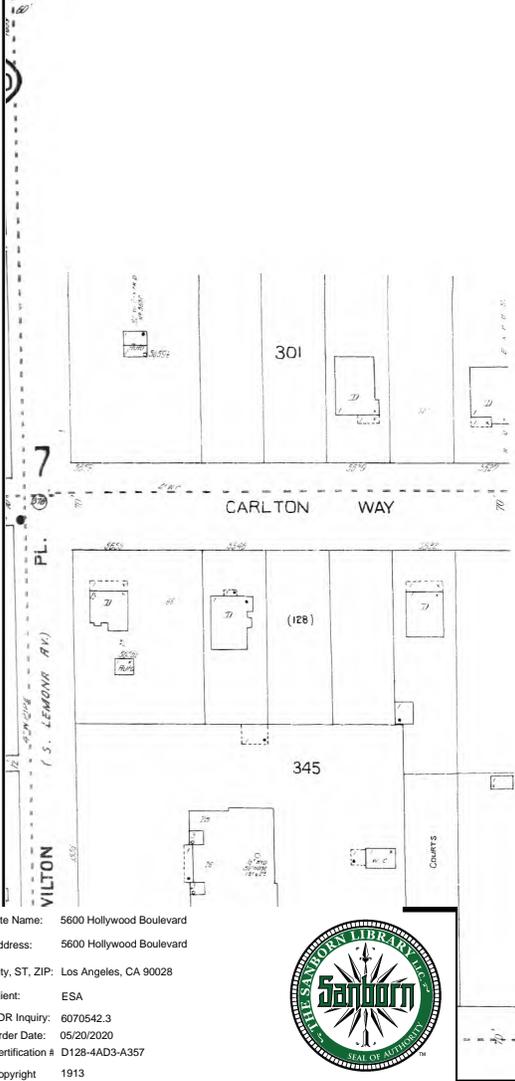


Volume 10, Sheet 1060  
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 Volume 10, Sheet 1029  
 Volume 10, Sheet 1028





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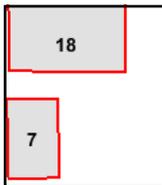
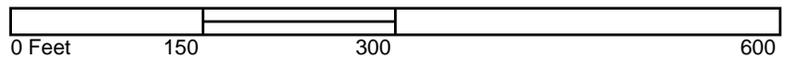


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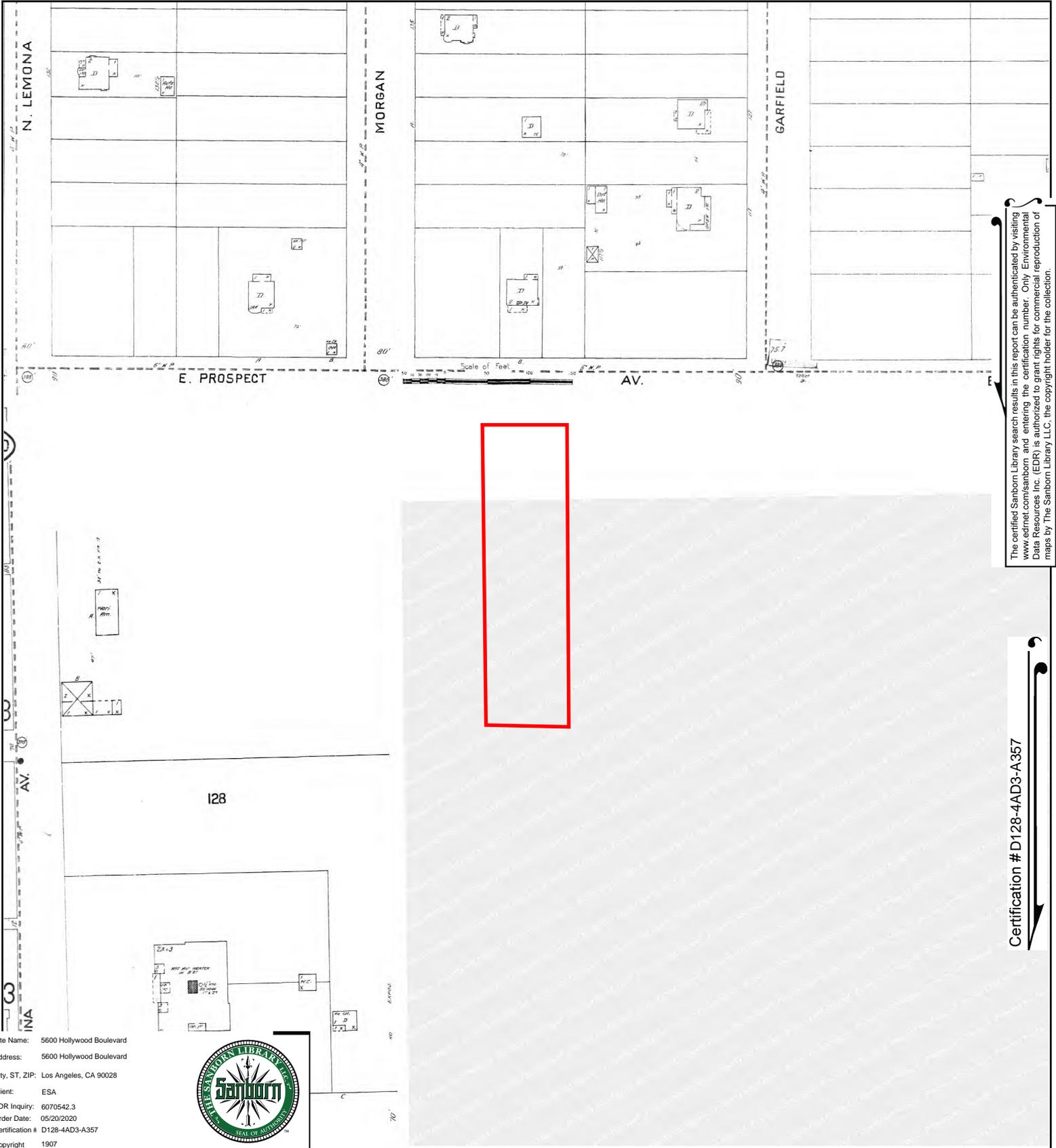


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Volume 1, Sheet 18  
 Volume 1, Sheet 7





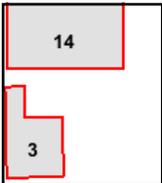
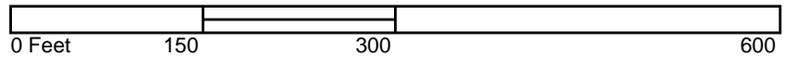
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 Copyright 1907



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Volume 1, Sheet 14  
 Volume 1, Sheet 3



# Appendix D

## **Building Permits**

1

APPLICATION TO  
ERECT A NEW BUILDING  
AND FOR A  
CERTIFICATE OF OCCUPANCY

Form B-1-1944-M-4  
CITY OF LOS ANGELES  
DEPARTMENT  
OF  
BUILDING AND SAFETY  
BUILDING DIVISION

Lot No. 11 & E. 5' DE LGT 10

Tract IRVING PARK TRACT

Location of Building 5606 1/2 HOLLYWOOD BLVD.  
(House Number and Street)

Approved by  
City Engineer

Between what cross streets St. Andrews & Wilton Pl.

USE INK OR INDELIBLE PENCIL

1. Purpose of building STORE BLDG. Families \_\_\_\_\_ Rooms \_\_\_\_\_  
(Store, Dwelling, Apartment House, Hotel, or other purpose)

2. Owner OSCAR B. OLSON & T. ELIZABETH OLSON Phone HE-5778  
(Print Name)

3. Owner's address 5709 HOLLYWOOD BLVD. L.A.

4. Certificated Architect NONE State License No. \_\_\_\_\_ Phone \_\_\_\_\_

5. Licensed Engineer W. F. PYNE State License No. CE-4778 Phone WH-9816

6. Contractor \_\_\_\_\_ State License No. \_\_\_\_\_ Phone \_\_\_\_\_

7. Contractor's address \_\_\_\_\_

8. VALUATION OF PROPOSED WORK None  
including all labor and material and all permanent fixtures, heating, ventilating, water supply, plumbing, fire sprinkler, electrical wiring and elevator equipment therein or thereon.

9. State how many buildings NOW on lot and give use of each. NONE  
(Store, Dwelling, Apartment House, Hotel or other purpose)

10. Size of new building 45' x 92' No. Stories 1 Height to highest point 16' Size lot 55' x 190'

11. Material Exterior Walls \_\_\_\_\_ Type of Roofing \_\_\_\_\_

For Accessory Buildings and similar structures } (a) Footing: Width \_\_\_\_\_ Depth in Ground \_\_\_\_\_ Width of Wall \_\_\_\_\_

(b) Size of Studs \_\_\_\_\_ Material of Floor \_\_\_\_\_

(c) Size of Floor Joists \_\_\_\_\_ Size of Rafters \_\_\_\_\_

I hereby certify that to the best of my knowledge and belief the above application is correct and that this building or construction work will comply with all laws, and that in the doing of the work authorized thereby I will not employ any person in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

Sign here Oscar B. Olson  
(Owner or Authorized Agent)

DISTRICT OFFICE \_\_\_\_\_ By \_\_\_\_\_

FOR DEPARTMENT USE ONLY									
PLAN CHECKING				REINFORCED CONCRETE		FEES		Bldg. Per.	
Date <u>Feb 21 1948</u>		Receipt No. <u>6638</u>		Bble. Cement _____		Tons of Reinforcing Steel _____		Cert. of Occupancy _____	
Valuation \$ _____		Fee Paid \$ _____		Total <u>63.00</u>					
TYPE <u>III-A</u>	GROUP <u>6-1</u>	Maximum No. Occupants <u>135</u>	Inside Lot _____	Key Lot _____	Lot Area _____	Fire District _____	Street _____	Pl. near alley _____	Pl. side alley _____
PERMIT No. <u>LA 3871</u>			Plans and Specifications checked _____	Zone _____	Fire District No. _____	Street Widening _____	Street Wdg. No. _____		
PLANS <u>R. B. Noice</u>			Plans, Specifications and Applications reflected and approved _____	Applicant checked and approved _____	City Clerk _____	Stamp here when Permits Issued			
Inspector _____			For Plans See _____	Inspector _____	APPROVER _____	Inspector _____			



3

Return to Makony 231

APPLICATION TO ALTER, REPAIR, OR DEMOLISH AND FOR A Certificate of Occupancy

CITY OF LOS ANGELES DEPARTMENT OF BUILDING AND SAFETY BUILDING DIVISION

Lot No.

Tract

Location of Building 5606 Hollywood Blvd.

Approved by City Engineer

Between what cross streets 1/2 block west of St. Andrews Pl.

Deputy

USE INK OR INDELIBLE PENCIL

Permit 3871-10th Mar 48

1. Present use of building Construction being started Families X Rooms 2

2. State how long building has been used for present occupancy NEW

3. Use of building AFTER alteration or moving stones Families X Rooms 2

4. Owner O. BOLSON Phone HC 5778

5. Owner's Address 5709 Hollywood Blvd. P.O. Los Angeles

6. Certificated Architect X State License No. X Photo X

7. Licensed Engineer Walter F. Pyne State License No. 4778 Photo DR-1412

8. Contractor Julian Weinstock State License No. Photo WC-37247

9. Contractor's Address 959 So Crenshaw Blvd. L.A.C.

10. VALUATION OF PROPOSED WORK (including all labor and material and all permanent fixtures, heating, ventilating, water supply, plumbing, fire sprinkler, electrical wiring and elevator equipment therein or thereon) 500-807

11. State how many buildings NOW on lot and give use of each. None

12. Size of existing building X x X Number of stories high X Height to highest point X

13. Material Exterior Walls Grouted Brick Exterior framework X

14. Describe briefly all proposed construction work: Alter plans to adapt foundations to extend thru filled ground 4 1/2' into virgin earth.

Bldg designed for 2 stories

NEW CONSTRUCTION (only story to be built now)

15. Site of Addition AS x D2 Size of Lot SS x 150 Number of Stories when complete 2

16. Footing: Width 22" Depth in Ground 18" Width of Wall 12" Size of Floor Joists 3"x14"

17. Size of Studs X x X Material of Floor (on tree) Size of Rafters 12" x 12" Type of Roofing Asphalt

I hereby certify that to the best of my knowledge and belief the above application is correct and that this building or construction work will comply with all laws, and that in the doing of the work authorized thereby I will not employ any person in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

Signature Walter F. Pyne License No. 4778

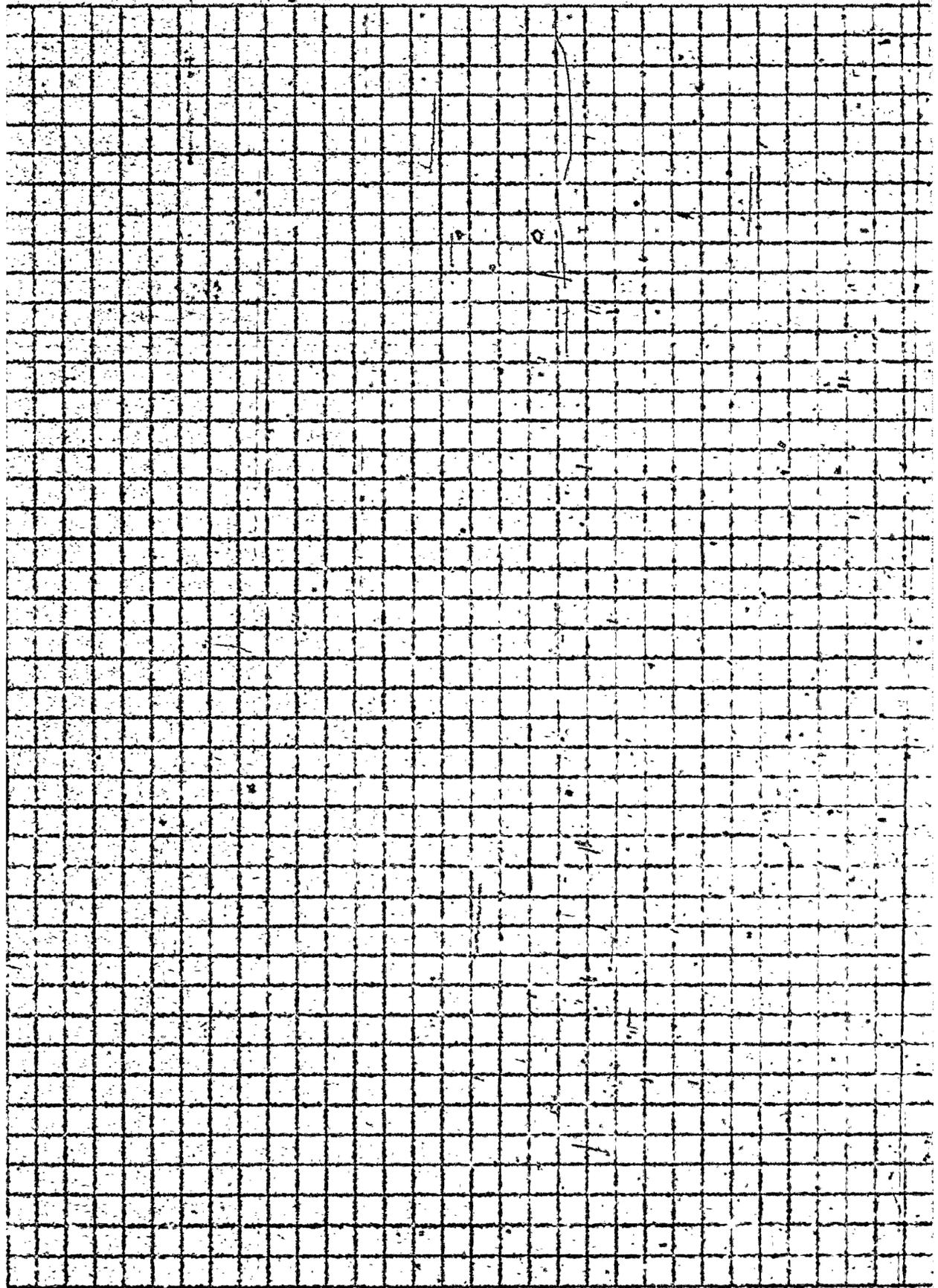
DISTRICT OFFICE

By

FOR DEPARTMENT USE ONLY

Form with sections: PLAN CHECKING, REINFORCED CONCRETE, FEES, TYPE GROUP, Maximum No. Drawings, Key Lot, Lot Size, PERMIT No., Plans, etc.

8727 -> 3871/48



3

APPLICATION TO ALTER, REPAIR, OR DEMOLISH AND FOR A Certificate of Occupancy

Form B-3-204-2-48 CITY OF LOS ANGELES DEPARTMENT OF BUILDING AND SAFETY BUILDING DIVISION

Lot No. Tract Location of Building 5606 Hollywood Blvd. Between what cross streets St. Andrews & Wilton

USE INK OR INDELIBLE PENCIL

- 1. Present use of building STORE Families Rooms 2. State how long building has been used for present occupancy NEW BLDG. 3. Use of building AFTER alteration or moving SAME Families Rooms 4. Owner OSCAR D. OLSON Phone 5. Owner's Address 5709 Hollywood Blvd. P.O. 6. Certificated Architect NONE State License No. Phone 7. Licensed Engineer NONE State License No. Phone 8. Contractor NONE State License No. Phone 9. Contractor's Address NONE 10. VALUATION OF PROPOSED WORK? 11. State how many buildings NOW on lot and give use of each. STORE 12. Size of existing building x Number of stories high 1 Height to highest point 18 13. Material Exterior Walls MASONRY Exterior framework 14. Describe briefly all proposed construction and work: SIGN

NEW CONSTRUCTION

- 15. Size of Addition x Size of Lot x Number of Stories when complete 16. Footing: Width Depth in Ground Width of Wall Size of Floor Joists x 17. Size of Studs x Material of Floor Size of Rafters x Type of Roofing

I hereby certify that to the best of my knowledge and belief the above application is correct and that this building or construction work will comply with all laws, and that in the doing of the work authorized thereby I will not employ any person in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

Sign here Oscar D. Olson (Owner or Authorized Agent)

DISTRICT OFFICE

FOR DEPARTMENT USE ONLY

Form with sections: PLAN CHECKING, REINFORCED CONCRETE, FEES, PERMIT No. 30313, TYPE GROUP, Maximum No. Occupants, Inside Lot, Key Lot, Lot Size, Application checked and approved, Continuous Inspection, SPRINKLER, District No. 4727, Stamp No. 4727, Inspector W. J. ...

195

Play 311

SCALE 1" = 20'

MASSIVE FRAMED SIGN LIGHT AGAINST BRDG.

INSTRUMENT WITH 4" LONG SENSITIVE EVERY 4 FT. PLUS 1"

AND IRONS  
TOP & BOTTOM  
EVERY 4 FT.

12/21/51





3

APPLICATION TO ALTER, REPAIR, OR DEMOLISH AND FOR A Certificate of Occupancy

CITY OF LOS ANGELES DEPARTMENT OF BUILDING AND SAFETY BUILDING DIVISION

Lot No. \_\_\_\_\_

Tract \_\_\_\_\_

Location of Building 5606 Nallewood Blvd (Section Number and Street) Approved by City Engineer \_\_\_\_\_

Between what cross streets Western + Wilton Deputy \_\_\_\_\_

USE INK OR INDELIBLE PENCIL

1. Present use of building Store 1st floor apt. Families 5 Rooms 11

2. State how long building has been used for present occupancy 2 yrs 1st floor

3. Use of building AFTER alteration or moving Living-offices Families 6 Rooms 12

4. Owner O.B. OLSON Phone 62-0533

5. Owner's Address 1727 TAFT AVE P.O. L.A. (28) CAL

6. Certificated Architect \_\_\_\_\_ State License No. \_\_\_\_\_ Phone \_\_\_\_\_

7. Licensed Engineer \_\_\_\_\_ State License No. \_\_\_\_\_ Phone \_\_\_\_\_

8. Contractor Julian Winstock State License No. 101262 Phone \_\_\_\_\_

9. Contractor's Address L.A.

10. VALUATION OF PROPOSED WORK {including all labor and material and all permanent piping, heating, ventilating, water supply, plumbing, fire alarm, electrical wiring and elevators equipment therein or thereon} 220.00

11. State how many buildings NOW on lot and give use of each One Commercial

12. Size of existing building 45 x 76 Number of stories high 2 Height to highest point \_\_\_\_\_

13. Material Exterior Walls 8" Brick reinforced Exterior framework (Wood or Steel)

14. Describe briefly all proposed construction and work Part in Warehouse or shed located in #3 office Part in Skylite in #3 bath and #2 office bath changing use of office #3 (S.E. corner room) from office to apt.

NEW CONSTRUCTION

15. Size of Addition x Size of Lot x Number of Stories when complete \_\_\_\_\_

16. Footing: Width \_\_\_\_\_ Depth in Ground \_\_\_\_\_ Width of Wall \_\_\_\_\_ Size of Floor Joists x

17. Size of Studs x Material of Floor \_\_\_\_\_ Size of Rafters x Type of Roofing \_\_\_\_\_

I hereby certify that to the best of my knowledge and belief the above application is correct and that this building or construction work will comply with all laws, and that in the doing of the work authorized thereby I will not employ any person in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

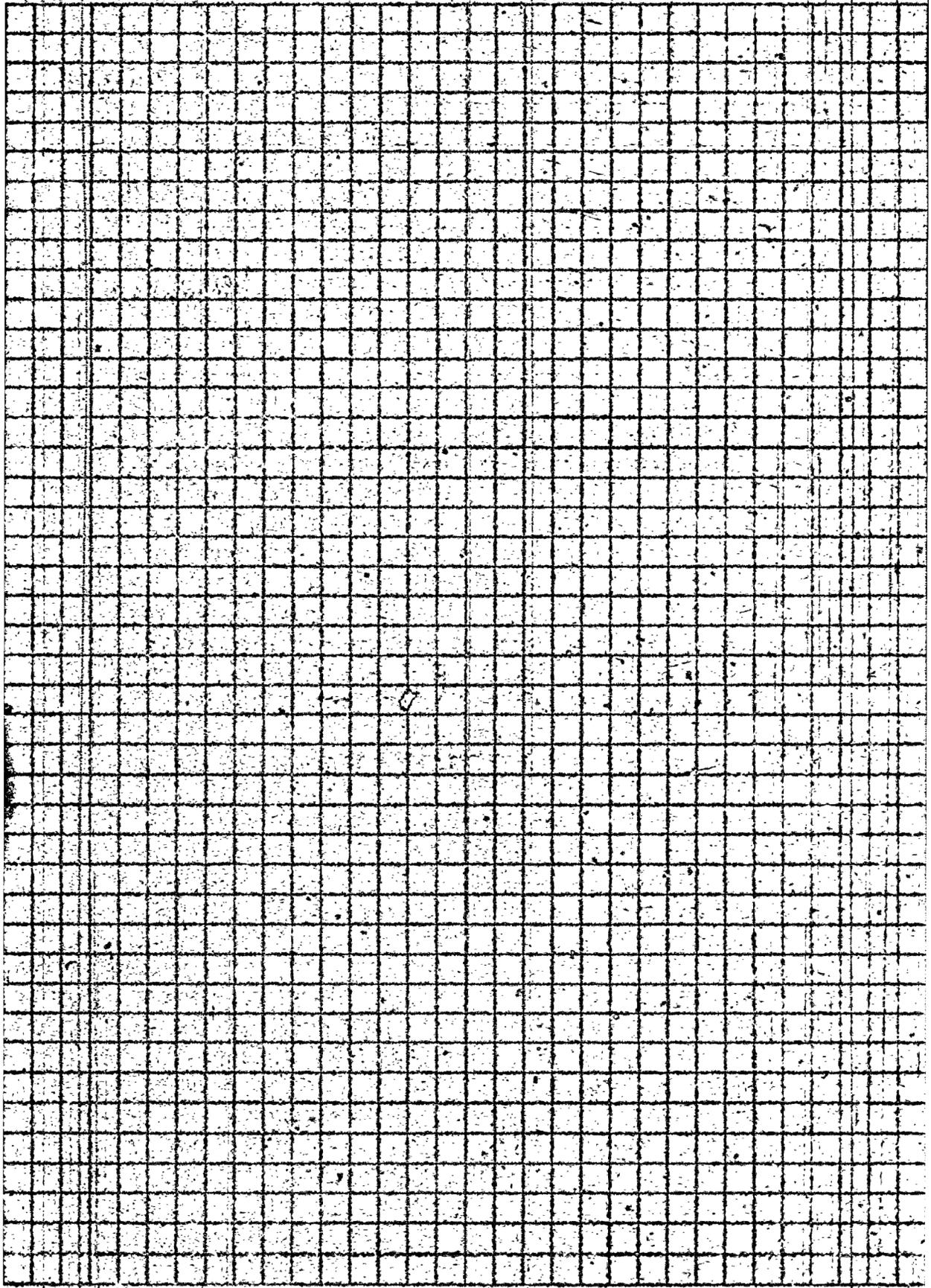
Sign here O.B. Olson (Owner or Authorized Agent)

DISTRICT OFFICE \_\_\_\_\_

FOR DEPARTMENT USE ONLY

PLAN CHECKING Date _____ Receipt No. A11396 Valuation \$ 220 Fee Paid \$ 1.00	CHANGE OF OCCUPANCY Area of Bldg _____ Sq. Ft. Date _____ Receipt No. _____ Fee Paid \$ _____	FEEES Bldg. Per _____ Cert. of Occupancy _____ Total 2.50
---	---	--

TYPE GROUP Maximum No. Occupants B-1 0, 1, 2	Inside Lot Corner Lot	Key Lot Corner Lot Keyed	Lot No. 422	Dist. side alley Dist. side alley
REINFORCED CONCRETE Type of Reinforcing Steel	Permit No. A23133	Plans and Specifications checked Correction needed	Dist. No. 422 Street Width	Dist. No. 4727
PLANS For Plans Fee Paid with 2.50/50 2.88-04	Plans, Specifications and Applications checked and approved For Plans Fee Paid with	Application checked and approved Inspector	Dist. No. 422 Street Width	Stamp here when Permit is issued



CITY OF LOS ANGELES  
DEPARTMENT OF BUILDING AND SAFETY

CERTIFICATE OF OCCUPANCY

NOTE: Any change of use or occupancy must be approved by the Department of Building and Safety.

Address of Building ..... 5606 Hollywood Blvd.  
Permit No. and Year ..... 2188, 23133 - 1950  
Certificate Issued ..... December 1, 1950

This certifies that, so far as ascertained by or made known to the undersigned, the building at above address complies with the applicable requirements of the Municipal Code, as follows: Ch. 1, as to permitted uses; Ch. 9, Arts. 1, 3, 4, and 5; and with applicable requirements of State Housing Act, for following occupancies:  
2 story, Type III-A, 45' x 92', second floor addition of 5 apts., 1 hotel room and 2 offices to existing 1 story store, G-1 and H-2 occupancies.

Owner Mr. O. B. Olson  
Owner's Address 1727 Hart Ave.  
Hollywood 26, California

Form B-95a-20M-3-49 G. E. MORRIS, Superintendent of Building By *[Signature]*

3

*Freeway*

APPLICATION TO ALTER - REPAIR - DEMOLISH  
AND FOR CERTIFICATE OF OCCUPANCY

Form B-3

CITY OF LOS ANGELES

DEPT. OF BUILDING AND SAFETY

INSTRUCTIONS: 1. Applicant to Complete Numbered Items Only,  
2. Plot Plan Required on Back of Original.

1. LEGAL DESCR.	LOT	BLK.	TRACT	ADDRESS APPROVED
	<i>part of 10411</i>		<i>Irving Park</i>	<i>L.A.</i>
2. BUILDING ADDRESS	5606 Hollywood Blvd., Hollywood			DIST. MAP <i>147-193</i>
3. BETWEEN CROSS STREETS	St. Andrews	AND	Wilton Place	ZONE <i>C-2-2</i>
4. PRESENT USE OF BUILDING	Loan office	NEW USE OF BUILDING	Same	FIRE DIST. <i>I/90/50</i>
5. OWNER'S NAME	Film City Loan Co.	PHONE		INSIDE
6. OWNER'S ADDRESS	above	P.O.	ZONE	KEY
7. CERT. ARCH.	none	STATE LICENSE	PHONE	COR. LOT
8. LIC. ENGR.	none	STATE LICENSE	PHONE	REV. COR.
9. CONTRACTOR	Interstate Neon Corp.	STATE LICENSE	PHONE	LOT SIZE
10. CONTRACTOR'S ADDRESS	15155 Califa St., Van Nuys	P.O.	ZONE	<b>INLEGAL</b>
11. SIZE OF EXISTING BLDG.	STORIES	HEIGHT	NO. OF EXISTING BUILDINGS ON LOT AND USE	REAR ALLEY
<i>50' x 50'</i>	<i>2</i>	<i>24'6"</i>	<i>1</i>	SIDE ALLEY
<b>3</b> 5606 Hollywood Blvd., Hollywood				BLDG. LINE
				BLDG. AREA
				DISTRICT OFFICE <i>L.A.</i>
12. MATERIAL	<input checked="" type="checkbox"/> WOOD	<input type="checkbox"/> METAL	<input type="checkbox"/> CONC. BLOCK	ROOF
EXT. WALLS:	<input checked="" type="checkbox"/> STUCCO	<input type="checkbox"/> BRICK	<input type="checkbox"/> CONCRETE	CONST.
				<input type="checkbox"/> WOOD
				<input type="checkbox"/> STEEL
				ROOFING
				<input type="checkbox"/> CONC.
				<input type="checkbox"/> OTHER
				Comp.
13. VALUATION: TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED BUILDING.	\$ 350.00		VALUATION APPROVED	SPRINKLERS REQ'D. SPECIFIED
			<i>Kendy</i>	AFFIDAVITS
			<i>Scott</i>	<i>14436</i>
			<i>Kendy</i>	<i>18869</i>
14. SIZE OF ADDITION	STORIES	HEIGHT	APPLICATION CHECKED	
			<i>Kendy</i>	
15. NEW WORK: (Describe)	EXT. WALLS	ROOFING	PLANS CHECKED	DWELL. UNITS
30 sq.ft. proj. sign			<i>Kendy</i>	
			CORRECTIONS VERIFIED	SPACES PARKING
			<i>Kendy</i>	
			PLANS APPROVED	GUEST ROOMS
			<i>Kendy</i>	
			APPLICATION APPROVED	FILE WITH
			<i>Kendy</i>	
			INSPECTOR	CONT. INSP.

I certify that in doing the work authorized hereby I will not employ any person in violation of the Labor Code of the State of California relating to workmen's compensation insurance.

Signed: *[Signature]*

This Form When Properly Validated is a Permit to Do the Work Described.

TYPE	GROUP	MAX. OCC.	P.C.	S.P.C.	G.P.I.	B.P.	I.F.	O.S.	C/O
<i>Water</i>	<i>1055</i>	<i>1</i>	<i>50</i>			<i>3</i>			

*9-18-61* *0100296150768640* *1.50*

CASHIER'S USE ONLY

*LA99324*

*LA99324*

*OCT-9-61*

*68641*

*C - 1 CK*

*3.00*

P.C. No. GRADING CRIT. SOIL CONS.

SEWER (Available) (Not Available)

CRITICAL SOIL



INSTRUCTIONS: 1. Applicant to Complete Numbered Items Only.

1. LEGAL DESCR.	LOT EAST 6' OF 10 # 11	BLOCK	TRACT IRVING PARK	CITY CLERK REF. NO. MPT7-18/19	DIST. MAP 147B193	CENSUS TRACT 1906
2. PRESENT USE OF BUILDING	(S) (Apt. bldg.)			NEW USE OF BUILDING ( ) Same	ZONE (R) R5-2	TIME DIST. COIN. DIST. 13
3. JOB ADDRESS	5606 Hollywood Blvd.			SUITE/UNIT NO.	LOT TYPE	
4. BETWEEN CROSS STREETS	Wilton Place			AND Western Ave.	LOT SIZE	
5. OWNER'S NAME ( ) TENANT ( ) BUILDING	Mrs. Mira Becker			PHONE 818-49-0975	ALLEY	
6. OWNER'S ADDRESS	17532 Superior St.			CITY Northridge	ZIP 91325	RDG. LINE
7. ENGINEER	BUS. LIC. NO.	ACTIVE STATE LIC. NO.	PHONE	DOC. NO. 1352		
8. ARCHITECT OR DESIGNER	BUS. LIC. NO.	ACTIVE STATE LIC. NO.	PHONE	ZI #14170		
9. ARCHITECT OR ENGINEER'S ADDRESS	Dutch Roofer			773412-01	58462	353-6831
10. CONTRACTOR	BUS. LIC. NO.	ACTIVE STATE LIC. NO.	PHONE	ZI #145-5223		
11. SIZE OF EXISTING BLDG. WIDTH	END	STORIES	HEIGHT	NO. OF EXISTING BONDINGS ON LOT AND USE	ZI #18020	
12. FRAMING MATERIAL OF EXISTING BLDG.	EXT. WALLS	ROOF	FLOOR	ZI #11170		
13. JOB ADDRESS	5606 Hollywood Blvd.			SUITE/UNIT NO.	DIST. OFF. LA ZMAP	
14. VALUATION TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED BUILDING	\$ 3,100.00			24 sqs.	P.C. REQ'D SEISMIC	
15. NEW WORK (Describe)	tear off pre-roof, 28# base, 2-11# plysheets, 1-7# capsheet not rapped. CLASS "B" MIN. B.U.R.			HWY. DEPT. FLOOD		
NEW USE OF BUILDING	GROUP OCC.	MAX. OCC.	STORIES	HEIGHT	BUILDING ZONING	PLANS CHECKED
TYPE	GROUP OCC.	MAX. OCC.	STORIES	HEIGHT	BUILDING ZONING	PLANS CHECKED
DWELL UNIT	BUILDING AREA	ZONING AREA	APPLICATION APPROVED	ZONED BY T.E. 10/8/93		
GUEST ROOMS	PARKING REQ'D	PARKING PROVIDED	INSPECTION ACTIVITY	INSPECTOR T.E. 10/11/93		
PC.	G.P.I. + NP	CONT. INSP.	SYS	B & S 08-B-3 (R.7/90)		
S.P.C.	PM.		SSYS			
B.P.	E.I.	504	Claims for refund of fees paid on permits must be filed: 1. Within one year from date of payment of fee; or 2. Within one year from date of expiration of extension for building or grading permits granted by the Dept. of B. & S. SECTIONS 22.12 & 22.13 LAMC.			
I.F.	F.H.		CASHIERS USE ONLY			
S.D.	O.S.S.		10/12/93 03:50:30PM LA06 T-6393 C 11			
ISS. OFF.	S.O.S.		BLDG PERMITS R 50.80			
P.C. NO.	C/O	ENERGY	DAS	INVOICE \$ 0011815 88		
NEW AFFIDAVITS			EL RESIDENTIAL 0.50			
PLAN CHECK EXTENDED TO			ONE STOP 1.03			
ADMINISTRATIVE APPROVAL DATED			SYS DEV 3.08			
BY			TOTAL CHECK 55.41			
D.A.D. PLANS CHECKED			CHECK 55.41			
HOUSING MITIGATION FEE ORDINANCE			93LA 11003			
<input type="checkbox"/> REQUIRED <input type="checkbox"/> EXEMPT						
ASBESTOS NOTIFICATION						
Check Box: <input type="checkbox"/> Notification letter sent to AQMD or EPA.						
<input checked="" type="checkbox"/> I declare that notification of asbestos removal is not applicable to addressed project.						
Signature: Rita Serrantino			Date: 10/6/93			

**DECLARATIONS AND CERTIFICATIONS**

**LICENSED CONTRACTORS DECLARATION**  
 16. I hereby affirm that I am licensed under the provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.  
 Date 10/7/93 Lic. Class C-39 Lic. Number 584162 Contractor The Dutch Roofer, Inc. (Signature)

**OWNER-BUILDER DECLARATION**  
 17. I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Sec. 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).):  
 I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or through his own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale).  
 I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractor's License Law).  
 I am exempt under Sec. B. & P. C. for this reason.  
 Date \_\_\_\_\_ Owner's Signature \_\_\_\_\_

**WORKERS' COMPENSATION DECLARATION**  
 18. I hereby affirm that I have a certificate of consent to self-insure, or a certificate of Worker's Compensation Insurance, or a certified copy thereof (Sec. 3800, Lab. C.).  
 Policy No. CR785-93 UN 588 Insurance Company State Fund  
 Certified copy is hereby furnished.  
 Certified copy is filed with the Los Angeles City Dept. of Bldg. & Safety.  
 Date 10/8/93 Applicant's Signature Rita Serrantino  
 Applicant's Mailing Address 7035 Foothill Blvd., Tujunga, 91042

**CERTIFICATE OF EXEMPTION FROM WORKERS' COMPENSATION INSURANCE**  
 19. I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws of California.  
 Date 10/8/93 Applicant's Signature \_\_\_\_\_

**NOTICE TO APPLICANT:** If, after making this Certificate of Exemption, you should become subject to the Workers' Compensation provisions of the Labor Code, you must forthwith comply with such provisions or this permit shall be deemed revoked.

**CONSTRUCTION LENDING AGENCY**  
 20. I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.).  
 Lender's Name \_\_\_\_\_ Lender's Address \_\_\_\_\_

21. I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes.  
 I realize that this permit is an application for inspection, that it does not approve or authorize the work specified herein, that it does not authorize or permit any violation or failure to comply with any applicable law, that neither the city of Los Angeles nor any board, department, officer or employee thereof makes any warranty or shall be responsible for the performance or results of any work described herein or the condition of the property or soil upon which such work is performed, (See Sec. 91.0202 LAMC)  
 Signed Maggie Allen Manager 10/8/93  
 (Owner or agent having property owner's consent) Position Date

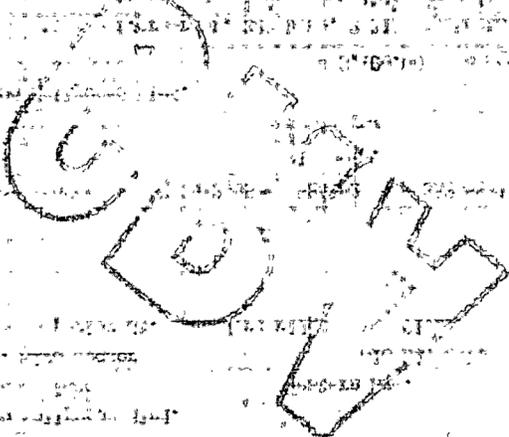
4 2 7 0 7 1 7 0 2 9 4

Bureau of Engineering		ADDRESS APPROVED	<i>David Chen, 10-12-93</i>
		DRIVEWAY	
		HIGHWAY	REQUIRED
		DEDICATION	COMPLETED
		FLOOR	THE COMMUNITY REDEV. LOAN AGENCY
Public Works Improvement	Required YES <input type="checkbox"/> NO <input type="checkbox"/> PERMIT	#	OF THE CITY OF LOS ANGELES
SEWERS		TRENCHES AVAILABLE	
RES. NO.		NOT AVAILABLE	
CERT. NO.		WITH SFC PAID	
		SFC NOT APPLICABLE	
Grading	PRIVATE SEWAGE SYSTEM APPROVED		
Comm. Safety	APPROVED FOR ISSUE <input type="checkbox"/> NO FILE <input type="checkbox"/>	FILED	<i>10/12/93</i>
CEQA	BY <i>Amalafanda</i>		
Fire	APPROVED (TITLE 19) (L.A.M.C.-S700)	TITLE	<i>Assoc. Planner</i>
	APPROVED - HYDRANT UNIT, ROOM 920 CME		
CRA	APPROVED PER REDEV. PROJECT		
Transportation	APPROVED FOR DRIVEWAY LOCATION		
	APPROVED FOR ORD.#		
Planning	WORK SHEET #		
	APPROVED UNDER CASE #		
	LANDSCAPE / XERISCAPE		
	SIGHT PLAN REVIEW		
Housing	HOUSING AUTHORITY AFFIDAVIT NO.		
Construction Tax	RECEIPT NO.	DWELLING UNITS	<i>NOT A MONUMENT</i>
Cultural Affairs	<i>MAY BE SUBJECT TO C.H. O. A.</i>		
Rent Stabilization Division	<i>10-12-93</i>		
LEGAL DESCRIPTION			
<i>CEQA'd per CRA Clearance from City of LA</i>			
<i>* (Q) or 2 per P.W. 10/12/93</i>			

ON PLOT PLAN SHOW ALL BUILDINGS ON LOT AND USE OF EACH

NC.

↑ ATTACHED PLOT PLANS SHALL NOT EXTEND ABOVE THIS LINE



THIS PERMIT IS FOR (Mark one)  
 NEW BLDG/STRUCTURE  
 ADD, ALTER, REPAIR EXISTING BUILDING  
 RELOCATE EXIST. BLDG.  
 DEMOLITION OF ENTIRE BUILDING

CITY OF LOS ANGELES - DEPARTMENT OF BUILDING AND SAFETY  
 APPLICATION FOR BUILDING PERMIT AND  
 CERTIFICATE OF OCCUPANCY

INCIDENT CODE



REF. NO.:

**A** PROJECT ADDRESS: 5606 Hollywood Bl. SUITE/UNIT NO. CROSS STREETS: St Andrew & Wilton

TRACT(S) and COUNTY REF. NO. (For alpha tracts) e.g. J.G. McDonald Tract (MR 70-20): Irving Park (MP17-18/19) BLOCK: LOT(S) and ARB(S) e.g. 15, 16 (Arb 3), 17, 18: 12 DIST. MAP: 147B193

ASSESSOR'S ID: 1906 YBN11-28-95

LOT TYPE: Corner LOT SIZE: 50'x190' ZONE: [Q]R5-2 BUILDING LINE: ALLEY: CENSUS TRACT: 1906 ADDR. APFD: YBN11-28-95 DATE: 1-28-95

AFFIDAVITS, EASEMENTS AND RESTRICTIONS: ZI 1117 ZI 1352 AFF 18869 AS

COUNCIL DIST. 4 FIRE DISTRICT I FLOOD ZONE GRADING HIGHWAY DED. SEISMIC STUDY: yes

**B** PROPERTY OWNER: Mira Becker 818 349 0975 PHONE: 818 4414904 APPLICANT: Youssefian Assoc 818 4414904

ADDRESS: 17532 Superior St SUITE/UNIT NO. ADDRESS: 1431 Huntington Dr #201 SUITE/UNIT NO.

CITY/STATE/ZIP: Northridge 91325 CITY/STATE/ZIP: S. Pasadena 91030

ARCHITECT NAME: Youssefian Assoc ADDRESS: LIC. CLASS ACTIVE STATE LIC. NO. CITY BUS. LIC NO. PHONE NO.

ENGINEER: CONTRACTOR: owner

PROPOSED USE OF BUILDING: ( ) same EXISTING USE OF BUILDING (Leave blank for new buildings): ( 1\$ ) retail

DESCRIPTION OF WORK:  DAMAGE REPAIR <10%  PATCH PLASTER/ DRYWALL  INT. NON-STRUCTURAL REMODEL  DOOR/WINDOW CHANGEOUT  RE-STUCCO/SIDING  RE-ROOF

OTHER: (Describe) New roll up door

**C** COMPLETE THIS SECTION ONLY FOR ONE AND TWO FAMILY DWELLINGS INVOLVING MECHANICAL WORK IN CONJUNCTION WITH THE WORK DESCRIBED IN SEC. "B" ABOVE. A SEPARATE PERMIT SHALL BE OBTAINED FROM MECHANICAL BUREAU FOR ANY WORK WHICH DOES NOT MEET ANY OF THE FOLLOWING CONDITIONS

ELECTRICAL WORK FOR PANEL SIZE <400 AMPS AND TOTAL FLOOR AREA <15,000 S.F.  PLUMBING (NOT INCLUDING FIRE SPRINKLERS)  HVAC WORK FOR HEAT/VENT SIZE < 350,000 BTU AND A.C. SIZE < 25 TONS

DESCRIPTION OF MECHANICAL WORK (Check applicable boxes above):

ELECT. CONTR. NAME ADDRESS LIC. CLASS ACTIVE STATE LIC. NO. CITY BUS. LIC NO. PHONE NO.

PLUMB. CONTR. HVAC CONTR.

**D** NO. OF EXISTING BLDGS. ON LOT AND USE

LENGTH	WIDTH	HEIGHT (BUILDING)	FLOOR AREA (BUILDING)
STORIES	GROUP OCCUPANCY	OCCUPANTS PER GROUP	MAX. OCCUPANCY
DWELLING UNITS	GUEST ROOMS	CONSTR. TYPE	LIC. FABRICATOR REQ'D FOR:
REQ'D PARKING	PARKING PROVIDED	HEIGHT (ZONING)	FLOOR AREA (ZONING)
LOCATION OF REQ'D FIRE SPRINKLERS		TYPE OF INSPECTION	DISTRICT INSP. OFFICE
		CS EQ FS MS GEN	LA VN WLA SP

LATERAL/FDN. SYSTEMS:  SHEARWALL  EBFCBF  SMR/CONCRSF  OTHER

SPECIAL INSPECTIONS:  CONC > 2000 PSI  FIELD WELDING  GUNITE/SHOTCRETE  GRADE BEAMS/CAISSONS

MASONRY  REBAR WELDS  GRADING  OTHER

FOR CASHIER'S USE ONLY

**E** P.C. NO. VALUATION (including all fixed operating equipment) \$ 2500.00

PLAN CHECK SUPP. PLAN CHECK E.Q. INSTR: 0.50 SUPPLEMENT TO PERMIT NO.

HILLSIDE POSTING BLDG. PERMIT: 84.00 PLAN MAINT. PLAN CHECKED BY: A-SALWADOR

PRE-INSPECTION ELEC. PRMT. (26%) FIRE HYDRANT D.A. PLAN CHECKED BY:

INVESTIGATION FEE PLUMB. PRMT. (26%) ARTS DEV. FEE ZONING VERIFIED BY: J-CLAUDIO DATE: 12-6-95

RELOCATION FEE HVAC PRMT. (13%) SCHOOL DIST. FEE APPLICATION APPROVED BY: J.C. (RE) FOR A-SALWADOR BSID: 44101

SIGN: Jonathan Claudio DATE: 12-6-95

ENERGY  SURCHARGES  D.A. SURCH.  SEWER CAP REQ'D

PLOT PLAN ATTACHED:  YES  NO OTHER ATTACHMENTS (Describe): H.A. POSHIP

Unless a shorter period of time has been established by an official action, plan check approval expires one and a half years after the date of approval. If the permit expires two years after the fee has been paid or 180 days after the fee has been paid and construction has not commenced, or if work is discontinued, discontinued or abandoned for a continuous period of 180 days (Sec. 93,0603 L.A.M.C.). Claims for refund of fees paid on permits must be filed one year from the date of expiration for building permits granted by the Department of Building and Safety (Sec. 22.12 & 22.13 L.A.M.C.).

12/06/95 10:25:50AM LA05 T-7327 C 30  
 BLDG PERMIT CD 84.00  
 INVOICE # 0044181 BQ  
 EI COMMERCIAL 0.50  
 SYS DEV 5.07  
 ONE STOP 1.69  
 MISCELLANEOUS 5.00  
 CITY PLAN SURC 2.52  
 TOTAL 98.78  
 CHECK 98.78

15  
5  
0  
0  
2  
0  
3  
0  
1

95LA 45350



- THIS PERMIT IS FOR (Mark one)
- NEW BLDG./ STRUCTURE
  - ADD, ALTER, REPAIR EXISTING BUILDING
  - RELOCATE EXST. BLDG.
  - DEMOLITION OF ENTIRE BUILDING

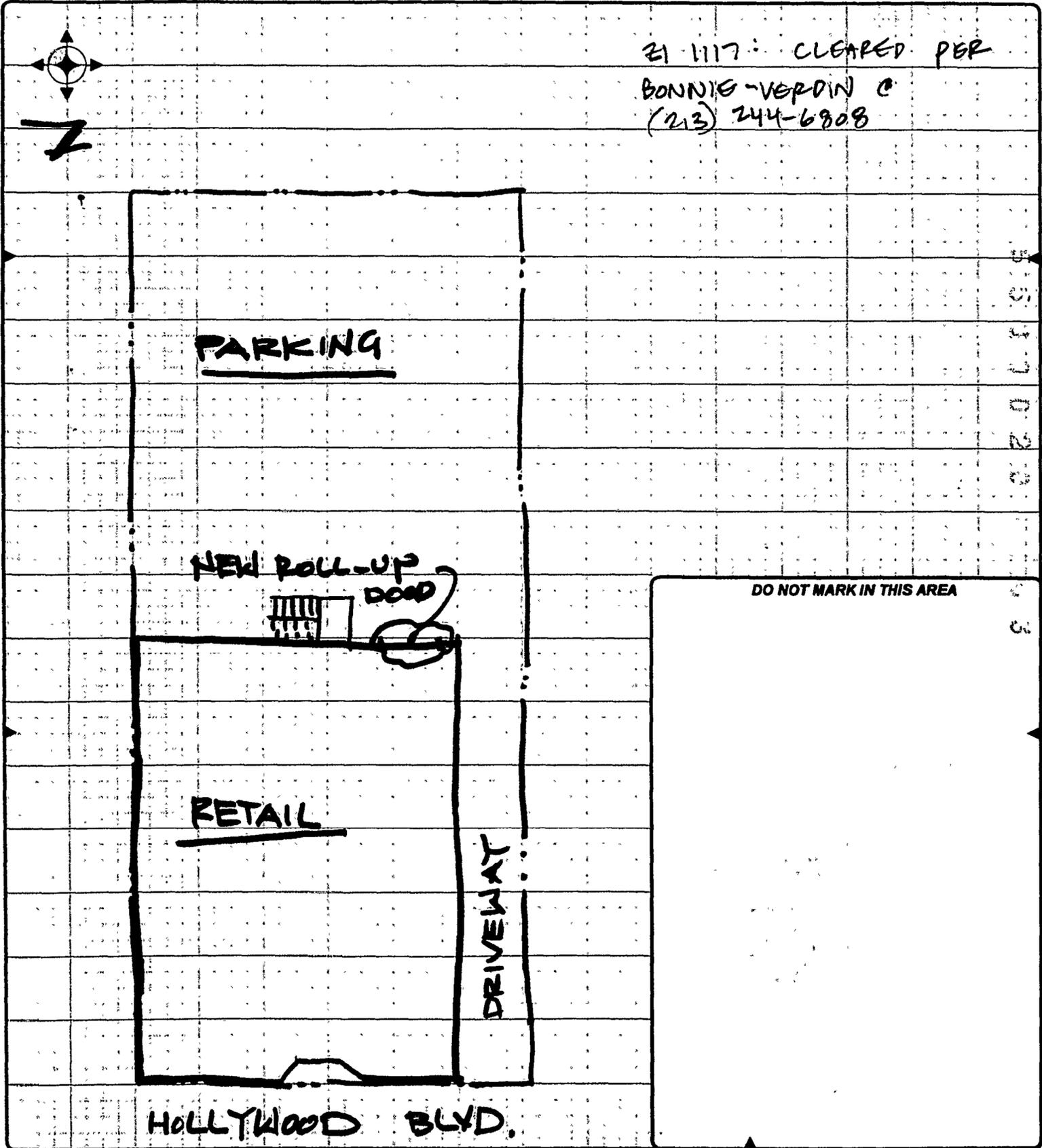
CITY OF LOS ANGELES - DEPARTMENT OF BUILDING AND SAFETY  
**BUILDING PERMIT PLOT PLAN**  
 PLEASE DRAW AND LABEL CLEARLY IN INK

INCIDENT CODE



PROJECT ADDRESS 3600 Hollywood Bl.	SITE/UNIT NO.	CROSS STREETS St Andrew & Wilton	REF. NO.
TRACT(S) and COUNTY REF. NO. (For each tract) e.g. J.G. McDonald Tract (MR 70-20) Irving Park (MP17-18/19)	BLOCK	LOTS, and ARE(S) e.g. 15, 16 (AG 3), 17, 18 12	DIST. MAP 147B193
			ASSESSOR'S ID

Corner 50'x190' SHOW ALL BUILDINGS ON LOT AND LABEL RESPECTIVE USES 1906 VRN11-7R-05





Disabled Access Division

UNREASONABLE HARDSHIP FINDING

Valuation below \$81,000 (Sec. 3112A(a), Exc. 1, Title 24)

PROJECT INFORMATION

PROJECT ADDRESS: 5606 HOLLYWOOD BLVD P.C. NO.
PROJECT DESCRIPTION: NEW ROLL-UP DOOR
TYPE OF FACILITY: RETAIL PROJECT VALUATION: \$ 2500

FINANCIAL HARDSHIP

The Title 24 accessibility improvements create the following impact on the financial feasibility of the project

- Delays project, loan must be renegotiated.
Project would be abandoned, insufficient funds.
Other: (Explain)

ACTUAL COST

Cost of accessibility features outside the area of remodel, repair or addition required for full compliance

- Path of travel to entrance COMPLIES \$
Entrance ramp COMPLIES \$
Path of travel within building facility \$
Sanitary facilities SEE BELOW \$ 15,000
Drinking fountains \$
Telephones \$
Other \$

The accessibility features increase construction costs by: % TOTAL \$ 15,000

EXPENDITURES (Minimum of 20% of project valuation = \$ 500.00)

Specify access features provided and cost

PRIORITIES: (Access shall be provided in the following order)

- 1. Accessible entrance: \$
2. An accessible route to the altered area: \$
3. At least one accessible restroom for each sex: INSTALL NEW \$ 500
GRAB BARS IN TOILETS
4. Accessible telephones and drinking fountains: \$
5. Additional accessible elements - (parking, storage, alarms): \$
TOTAL \$

APPLICANT INFORMATION

NAME: BEDROS DARKJIAN SIGNATURE: [Signature]
FIRM/ADDRESS: YOUSSEFIAN ASSOCIATES
1431 HUNTINGTON BL #201 S. PASADENA 91036

FOR DEPARTMENT USE ONLY

APPROVED BY: [Signature] DATE: 2A95 45350

THIS PERMIT IS FOR (Mark one)  
 NEW BLDG/ STRUCTURE  ADD, ALTER, REPAIR EXISTING BUILDING  
 RELOCATE EXIST. BLDG.  DEMOLITION OF ENTIRE BUILDING

CITY OF LOS ANGELES - DEPARTMENT OF BUILDING AND SAFETY  
 APPLICATION FOR BUILDING PERMIT AND  
 CERTIFICATE OF OCCUPANCY

INCIDENT CODE



REF. NO.

**A PROJECT ADDRESS** SUITE/UNIT NO. CROSS STREETS  
**5606 HOLLYWOOD BL W ST ANDREWS WILTON**  
 TRACT(S) and COUNTY REF. NO. (For alpha tracts) e.g. J.G. McDonald Tract (MR 70-20) BLOCK LOT(S) and ARB(S) e.g. 15, 16 (Arb 3), 17, 18 DIST. MAP  
**IRVING PARK (M R 17-18/19) 11, 1 ARB 9810 148-5A193/147B193**  
 ASSASSOR'S ID  
**5544026008**  
 LOT TYPE LOT SIZE ZONE BUILDING LINE ALLEY  
**INT 120 190 X 190 (C) R2-2**  
 AFFIDAVITS, EASEMENTS AND RESTRICTIONS **21.11.17, AFF. 144300, 21.13.52, (C)**  
 CENSUS TRACT ADDR. APPD DATE  
**1900 LDR 7/2/96**  
 COUNCIL DIST. FIRE DISTRICT FLOOD ZONE  
**4 7 -**  
 GRADING HIGHWAY DED. SEISMIC STUDY  
**- YES -**

**B PROPERTY OWNER** PHONE APPLICANT PHONE  
**AVO & DINO PAPA ZIAN 2134668900 Same as Owner**  
 ADDRESS SUITE/UNIT NO. ADDRESS SUITE/UNIT NO.  
**5632 HOLLYWOOD BL L.A. CA 90028**  
 ARCHITECT NAME ADDRESS LIC. CLASS ACTIVE STATE LIC. NO. CITY BUS. LIC NO. PHONE NO.  
**YOUSSEFIAN ASSOCIA 1431 HUNTINGTON DR PASADENA 91030 8184414904**  
 ENGINEER

**CONTRACTOR**  
**OWNER-BUILDER**  
 PROPOSED USE OF BUILDING EXISTING USE OF BUILDING (Leave blank for new buildings)  
**(23) Miscellaneous Buildings and Structures**  
 DESCRIPTION OF WORK  
 DAMAGE REPAIR <10%  PATCH PLASTER/ DRYWALL  INT. NON-STRUCTURAL REMODEL  DOOR/WINDOW CHANGED OUT  RE-STUCCO/SIDING  RE-ROOF  
 OTHER: (Describe)  
**NEW TRASH ENCLOSURE AREA CITY STD 6'x8'**

**C COMPLETE THIS SECTION ONLY FOR ONE AND TWO FAMILY DWELLINGS INVOLVING MECHANICAL WORK IN CONJUNCTION WITH THE WORK DESCRIBED IN SEC. "B" ABOVE. A SEPARATE PERMIT SHALL BE OBTAINED FROM MECHANICAL BUREAU FOR ANY WORK WHICH DOES NOT MEET ANY OF THE FOLLOWING CONDITIONS**  
 ELECTRICAL WORK FOR PANEL SIZE <400 AMPS AND TOTAL FLOOR AREA <16,000 S.F.  PLUMBING (NOT INCLUDING FIRE SPRINKLERS)  HVAC WORK FOR HEAT/TREATMENT SIZE < 350,000 BTU AND A.C. SIZE < 25 TONS  
 DESCRIPTION OF MECHANICAL WORK (Check applicable boxes above)  
 ELECT. CONTR. NAME ADDRESS LIC. CLASS ACTIVE STATE LIC. NO. CITY BUS. LIC NO. PHONE NO.  
 PLUMB. CONTR.  
 HVAC CONTR.

**D NO. OF EXISTING BLDGS. ON LOT AND USE**

LENGTH	WIDTH	HEIGHT (BUILDING)	FLOOR AREA (BUILDING)
		10'	
STORIES	GROUP OCCUPANCY	OCCUPANTS PER GROUP	MAX. OCCUPANCY
DWELLING UNITS	GUEST ROOMS	CONSTR. TYPE	LIC. FABRICATOR REQ'D FOR:
REQ'D PARKING	PARKING PROVIDED	HEIGHT (ZONING)	FLOOR AREA (ZONING)
N/A	N/A	0'	
LOCATION OF REQ'D FIRE SPRINKLERS	TYPE OF INSPECTION	DISTRICT INSP. OFFICE	
	CS EQ FS MS (GEN)	LA VN WLA SP	
LATERAL/FDN SYSTEMS	SHEARWALL	EBF/CBF	SMRSP/OMRSF
SPECIAL INSPECTIONS	CONC > 2000 PSI	FIELD WELDING	GUNITE/SHOTCRETE

FOR CASHIER'S USE ONLY

07/02/96 04:27:15PM LA04 T-3918 C 08  
 BLDG PERMIT CO 42.00  
 INV DICC # 0098582 BB  
 EI COMMERCIAL 0.50  
 SYS DEV 2.55  
 ONE STOP SURCH 1.00  
 MISCELLANEDUS 5.00  
 CITY PLAN SURC 1.26  
 CARRY 52.31  
 TO TRAN 3919

**E P.C. NO. CC** VALUATION (Including all fixed operating equipment) \$ 1300

PLAN CHECK	SUPP. PLAN CHECK	E.Q. INSTR.	SUPPLEMENT TO PERMIT NO.
3		0.50	
HILLSIDE POSTING	BLDG. PERMIT	PLAN MAINT.	PLAN CHECKED BY
	42.00		B. KANEGAWA
PRE-INSPECTION	ELEC. PRMT. (26%)	FIRE HYDRANT	D.A. PLAN CHECKED BY
INVESTIGATION FEE	PLUMB. PRMT. (26%)	ARTS DEV. FEE	ZONING VERIFIED BY
			BK 7/2/96
RELOCATION FEE	HVAC PRMT. (13%)	SCHOOL DIST. FEE	APPLICATION APPROVED BY
			B. Kanegawa BSID 98582
		SCH. DIST. FL. AREA	SIGN
			7/2/96
<input type="checkbox"/> ENERGY	<input checked="" type="checkbox"/> SURCHARGES	<input checked="" type="checkbox"/> PLOT PLAN ATTACHED	OTHER ATTACHMENTS (Descr.)
<input type="checkbox"/> D.A. SURCH.	<input type="checkbox"/> SEWER CAP REQ'D	<input type="checkbox"/> YES <input type="checkbox"/> NO	<input type="checkbox"/> YES

Unless a shorter period of time has been established by an official action, plan check approval expires one and a half years after the fee has been paid. This permit expires two years after the fee has been paid or 180 days after the fee has been paid and construction has not commenced; or if work is suspended, discontinued or abandoned for a continuous period of 180 days (Sec. 98.0603 L.A.M.C.). Claims for refund of fees paid on permits must be filed within one year from the date of expiration for building permits granted by the Department of Building and Safety (Sec. 22.12 & 22.13 L.A.M.C.).

B & S 08-B-B Rev. 2/95

7-2-96  
 96LA53116



- THIS PERMIT IS FOR (Mark one)
- NEW BLDG/STRUCTURE
  - ADD, ALTER, REPAIR EXISTING BUILDING
  - RELOCATE EXIST. BLDG.
  - DEMOLITION OF ENTIRE BUILDING

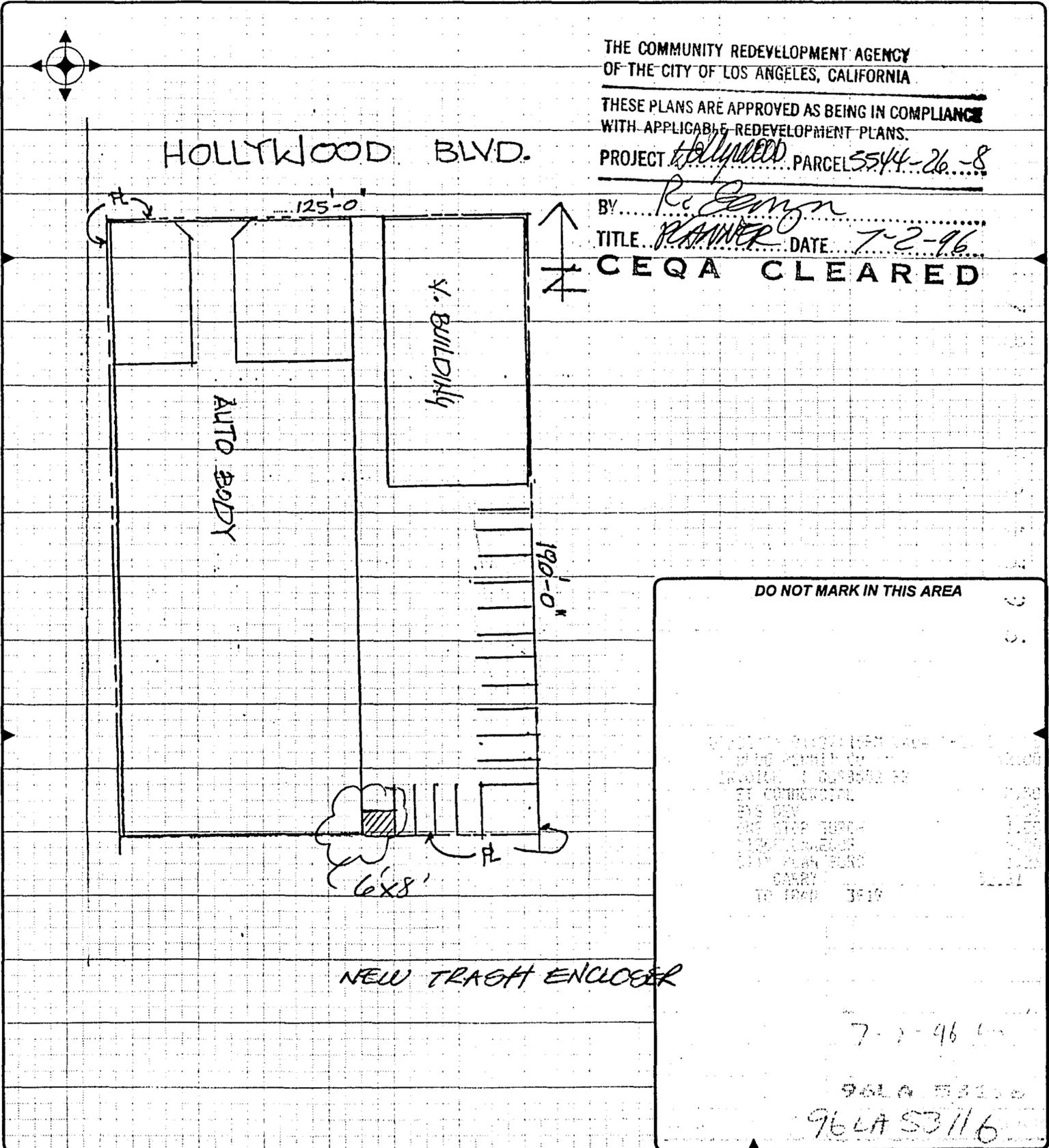
CITY OF LOS ANGELES - DEPARTMENT OF BUILDING AND SAFETY  
**BUILDING PERMIT PLOT PLAN**  
 PLEASE DRAW AND LABEL CLEARLY IN INK

INCIDENT CODE



PROJECT ADDRESS	SUITE/UNIT NO.	CROSS STREETS		REF. NO.:
TRACT(S) and COUNTY REF. NO. (For alpha tracts) e.g. J.G. McDonald Tract (MR 70-20)	BLOCK	LOT(S) and ARB(S) e.g. 15, 16 (Arb 3), 17, 18	DIST. MAP	
			ASSESSOR'S ID	

SHOW ALL BUILDINGS ON LOT AND LABEL RESPECTIVE USES





054+14  
CITY OF LOS ANGELES

APPLICATION TO CONSTRUCT NEW BUILDING  
AND FOR CERTIFICATE OF OCCUPANCY

DEPT. OF BUILDING AND SAFETY

1. LEGAL LOT 13	BLK.	TRACT Irving Park	DIST. MAP 147-193
JOB ADDRESS 1655 No. St. Andrews Place		APPROVED RB	ZONE R-4
2. BETWEEN CROSS STREETS Hollywood Blvd. AND Carlton Way			FIRE DIST. <del>X</del>
3. PURPOSE OF BUILDING Apartments (14 UNITS) & GARAGE			INSIDE <del>X</del>
4. OWNER Carlton Co.	PHONE WE 5-4671		KEY COR. LOT <del>X</del>
5. OWNER'S ADDRESS 5766 W. Adams Blvd.	P.O. L.A. z16	ZONE	REV. COR. LOT SIZE 50x171.58
6. CERT. ARCH. J. Van Der Kar	STATE LICENSE C 1081	PHONE OL 43080	REAR ALLEY <del>X</del>
7. LIC. ENGR. Paul Toien	STATE LICENSE SE 658	PHONE WE 97706	SIDE ALLEY <del>X</del>
8. CONTRACTOR Street Const. Co.	STATE LICENSE 106046	PHONE WE 54671	BLDG LINE <del>X</del>
9. CONTRACTOR'S ADDRESS 5766 W. Adams Blvd.	P.O. L.A. z16	ZONE	AFFIDAVIT <del>X</del>
10. SIZE OF NEW BLDG. 32' x 142'	STORIES 2	HEIGHT 30'	NO. OF EXISTING BUILDINGS ON LOT AND USE None
11. MATERIAL EXT. WALLS: <input type="checkbox"/> WOOD <input checked="" type="checkbox"/> STUCCO <input type="checkbox"/> METAL <input type="checkbox"/> BRICK <input type="checkbox"/> CONC. BLOCK <input type="checkbox"/> CONC. CONCRETE			ROOF CONST. <input type="checkbox"/> WOOD <input type="checkbox"/> CONC. <input checked="" type="checkbox"/> STEEL <input type="checkbox"/> OTHER
1. 1655 No. St. Andrews Place Apt. 1-14			DISTRICT OFFICE L.A.
VALIDATION LA 22562	AN-22-57	04205	CASHIER'S USE ONLY C - 2 CK 100.00
TYPE V	GROUP H-2	MAX. OCC J-1	AY-23-57
C. OF O. ISSUED		P.C. 100.00	S.P.C.
INSPECTOR		B.P.	G.U.F. 180.00
12. VALUATION: TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED BUILDING. \$ 18,000.00 88,000.00		VALIDATION APPROVED <i>Natanson</i>	DWELL. UNITS 14
I certify that in doing the work authorized hereby I will not employ any person in violation of the Labor Code of the State of California relating to workmen's compensation insurance.  <i>Sam Kurtz</i> SIGNED		APPLICATION CHECKED	PARKING SPACES 9
		PLANS CHECKED <i>Natanson</i>	GUEST ROOMS —
		CORRECTIONS VERIFIED	FILE WITH —
		PLANS APPROVED	CONT. INSP. —
		APPLICATION APPROVED <i>W. J.</i>	GRADING PRETINSPT.

Form B-1a M-6485

INSTRUCTIONS: 1. Applicant to Complete Numbered Items Only.  
2. Plot Plan Required on Back of Original.

PUBLIC WORKS DEPARTMENT



# Appendix E

## DPR Forms



# PRIMARY RECORD

Primary # \_\_\_\_\_

HRI # \_\_\_\_\_

Trinomial \_\_\_\_\_

NRHP Status Code 6Z

Other \_\_\_\_\_

Listings \_\_\_\_\_

Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 10 \*Resource Name or #: (Assigned by recorder) 5604-5606 Hollywood Boulevard

P1. Other Identifier: \_\_\_\_\_

\*P2. Location:  Not for Publication  Unrestricted

\*a. County Los Angeles and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

\*b. USGS 7.5' Quad Date T \_\_; R \_\_; W  of \_\_  of Sec \_\_; B.M.

c. Address 5604-5606 Hollywood Boulevard City Los Angeles Zip 90028

d. UTM: (Give more than one for large and/or linear resources) Zone \_\_, \_\_ mE/ \_\_ mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, decimal degrees, etc., as appropriate)

APN: 5544-026-008

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

The existing mixed-use commercial/residential building on the subject property is a two-story brick vernacular modern building; it was originally constructed in 1948 as a one-story building with plans in place to construct a second story at a later date. The second story was completed two years later, in 1950. Originally, when first constructed, the building was built to accommodate one retail store on the ground floor; when the second floor was constructed two years later, it, too, functioned as a retail store. However, for the past thirty years, since 1990, the ground floor of the building has been used for auto body repair and detailing, rather than retail. Moreover, when the second floor was added to the building in 1950, new uses were introduced shortly after its construction. Although ostensibly the second floor was first built to accommodate more space for the retail operation below, within the first year of its construction it was converted to accommodate a mix of offices and apartments, and a single hotel unit; these uses continue into the present day, with the exception of the single hotel unit.

[See Continuation Sheets]

\*P3b. Resource Attributes: (List attributes and codes) HP6 (Commercial Building, 3 stories and under)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects.)



\*P4. Resources Present:

Building  Structure  Object  
 Site  District  Element of District  
 Other (Isolates, etc.)

P5b. Description of Photo: (view, date, accession #) View of the primary (north) façade (view facing south)

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  
 Both

1948/Los Angeles County Assessor

\*P7. Owner and Address:

Mr. Sean Beddoe  
Bow West Capital  
718 South Hill Street, Suite 601  
Los Angeles, CCA 90014

\*P8. Recorded by: (Name, affiliation, and address) Hanna Winzenried

ESA  
626 Wilshire Blvd., Suite 1100  
Los Angeles, CA 90017

\*P9. Date Recorded: July 2020

\*P10. Survey Type: (Describe)  
Intensive Pedestrian

\*P11. Report Citation: (Cite survey report and other sources, or enter "none.")

ESA, 5600 Hollywood Blvd, 5604-5606 Hollywood Boulevard, 1655 N. Saint Andrews Place, and 5607 Carlton Way, Los Angeles, California Historic Resources Assessment, July, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  
 Artifact Record  Photograph Record  Other (List): \_\_\_\_\_

\*Resource Name or # (Assigned by recorder) 5604-5606 Hollywood Boulevard \*NRHP Status Code 6Z  
 Page 2 of 10

B1. Historic Name: \_\_\_\_\_  
 B2. Common Name: \_\_\_\_\_  
 B3. Original Use: Stores B4. Present Use: Car shop

\*B5. Architectural Style: Vernacular Modern  
 \*B6. Construction History: (Construction date, alterations, and date of alterations)

Records from the Los Angeles County Assessor and building permits on file with the Los Angeles Department of Building and Safety were used to create a construction history for the subject property and historic aerials.  
 [See Continuation Sheets]

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_  
 \*B8. Related Features:

B9a. Architect: W. F. Pyne b. Builder: \_\_\_\_\_  
 \*B10. Significance: Theme Context of Commercial Development (1859-1980), Theme: Neighborhood Commercial Development (1880-1980), Sub-Theme: Arterial Commercial Development (1880-1950) Area Hollywood  
 Period of Significance 1948 Property Type Commercial Applicable Criteria \_\_\_\_\_

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)  
 5604-5604 Hollywood Blvd and 1655 N. Saint Andrews Place were evaluated under the historical and architectural themes as described above in accordance with SurveyLA evaluation methods. 5600 Hollywood Boulevard and 5607 Carlton Way are not being evaluated as they are not developed with buildings. ESA also conducted research on the two subject properties' construction and occupancy history. ESA evaluated each of the two subject properties under the criteria for listing in the National Register, California Register, and as a Los Angeles Historic Cultural Monument (LAHCM).  
 [See Continuation Sheets]

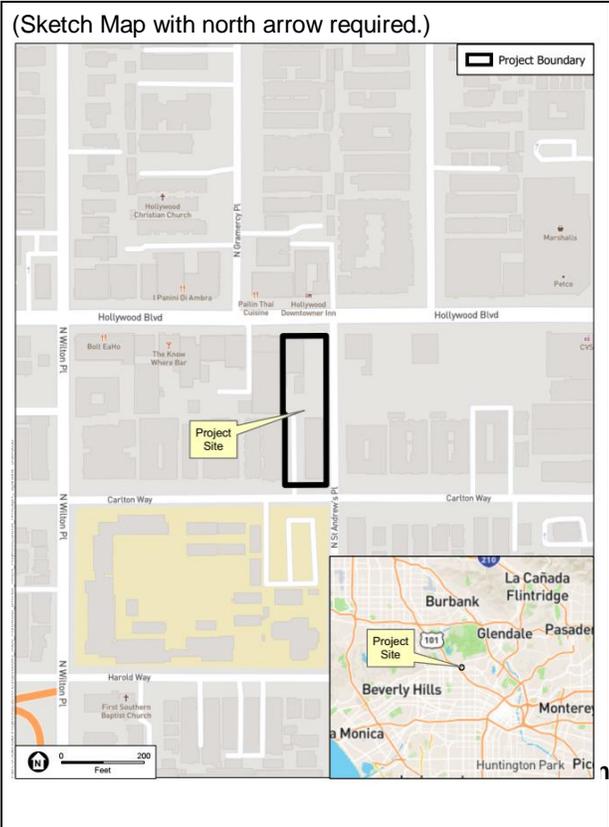
B11. Additional Resource Attributes: (List attributes and codes) \_\_\_\_\_

\*B12. References:  
 [See Continuation Sheets]

B13. Remarks:

\*B14. Evaluator: Hanna Winzenried  
 \*Date of Evaluation: July, 2020

(This space reserved for official comments.)



## CONTINUATION SHEET

Property Name:

Page 3 of 10

### \*P3a. Description (continued):

#### Exterior

Today, the building is two stories in height, with a flat, modified bitumen roof surrounded by a low parapet. The building has a rectangular footprint that sits on a concrete slab-on-grade and is constructed of brick; however, the primary (north) façade has a stucco finish. At the ground level, there is a single entrance door located on the eastern end of the primary façade that provides entry to an interior staircase that provides access to the second floor level. The door is wood framed and glazed, and it appears to be original; it is surmounted by a wooden transom window and flanked by two sidelites. Adjacent to this single door is a large glazed storefront with an entry door that provides access to the first floor level. Both the single entry door and the large glazed storefront are covered with metal security gates (alteration). At the second floor level on the, there is a row of five multi-lite windows. The windows alternate in an "A-B-A-B-A" pattern across the façade, as there are three smaller-sized windows that are interspersed with two larger windows. These five windows are all replacement vinyl windows (alteration), which were installed at an unknown date. All five windows are circumscribed by a horizontally-oriented surround that both appears original and gives the second floor of the building a decidedly horizontal appearance rather than a vertical one, despite its two-story height. Located above this window surround is a roughly square-shaped blade sign that reads "Precise Auto Body," the name of the business that has occupied the property as a tenant since 1990.

The east (side) elevation of the building is largely unarticulated architecturally. It is painted brick, and it only has minimal fenestration at the first floor level; there are two wood 1/1/ double- hung sash windows located at the southernmost end of this elevation that appear to be original. Fenestration on the second-floor level is limited to five multi-lite windows that occur on the southernmost two-thirds of the elevation; the northernmost third of the building, which is adjacent to the building's street frontage on Hollywood Boulevard, is unfenestrated. Two of these five windows are large multi-lite windows, two are small 2/2 windows, and one is a medium sized multi-lite window; they are arranged in a "A-B-A-B-C" pattern. All of the windows are vinyl covered windows (alteration), and the two large multi-pane windows have air conditioning units affixed to them.

The south (rear) elevation of the building is also largely unarticulated architecturally. It is unpainted brick, and there are two doors and a window at the ground floor level, as well as a large opening with an overhead door that that was added in 1995 (alteration). At the second floor level there is one door that is centrally placed upon the façade at this level, which is flanked by two large, non-original, multi-pane, vinyl windows (alteration). An exterior steel stair that appears original to the construction of the second floor level is centered on the building façade; it provides access to the second floor level from the ground floor level.

The west (side) elevation of the building is also unpainted brick. There are two wood 1/1 double-hung sash windows at the ground floor level that appear to be original, and these are covered with metal security bars that are affixed to them (alteration). At the second floor level, there are a grouping of seven, large vinyl-covered multi-pane windows (alteration) that are identical to one another in their size and configuration. These windows are arranged across the length of the elevation in regular intervals, and several of the windows have individual window air conditioning units affixed to them (alteration).

### **Interior**

On the ground level interior of 5604-5606 Hollywood Boulevard, the building is divided up into two different spaces. To the northeastern end of the building, there is an enclosed stairwell that provides access to the second floor level from the street. The finishes in this space—such as the wooden stairs, the plaster walls, and the metal handrails—appear original to the construction of the second-floor addition. The rest of the building on the ground floor level is one large space that is interrupted only by several supporting columns that aligned with one another and are arranged in a north-south direction. From the interior of the building, it also appears that the storefront (which is covered on the exterior by metal security gates that somewhat obscure it) is heavily modified on the eastern half. The western half of the storefront has large fixed windows that are aligned in a row to be flush with the primary façade; however, at the center of the storefront, a wall is introduced to create a recessed door vestibule. Adjacent to this vestibule, there is a wall with a large punched opening that is recessed away from the primary façade and into the interior space. The Sanborn map from 1950 shows that the first floor had two stores and therefore it presumably had two store entrances on the primary façade. Therefore, the storefront has been altered and only has one entrance. The interior partitions have also been removed at an unknown date. The exterior walls that define this ground floor interior space are painted drywall, and there is a suspended acoustical ceiling in the northernmost portion and an exposed concrete slab ceiling with exposed piping and surface mounted conduit and lighting fixtures in the southernmost portion of the space. There is no finish floor in this ground floor space, but, instead, only an unfinished concrete slab.

The second floor interior of 5604-5606 Hollywood Blvd is divided into two unequal halves by an L-shaped corridor that roughly bisects it. Several skylights illuminate the corridor, and metal security doors have been affixed over the entries to each unit (alteration). The second floor is divided into eight different units by the corridor, some of which serve as apartment units and others that serve as office spaces. The typical unit (whether used as an apartment unit or an office) has a minimum of a main living space, a kitchen, and a bathroom, but the configuration of each unit varies and some units are substantially larger than others. The units have all been recently remodeled so that the majority of finish materials appear to be new—including painted drywall and carpeting—while wooden base trim and door frames appear to be original. In the kitchens of the typical unit, all cabinetry and fixtures appear to be new replacements (alteration), as well. The bathrooms of the typical unit sometimes retain original bathtub/shower enclosures, but other fixtures and finishes appear to be new replacements (alteration).

### **\*B6. Construction History (continued):**

The first permit on file was issued on March 9, 1948 for the construction of a one story store measuring 45 feet by 92 feet. It was issued to Oscar B. and T. Elizabeth Olsen and was designed by engineer W. F. Pyne and valued at \$16,000. On April 14, 1948, a permit was issued to adapt the foundation to extend through filled ground and into 18 inches of virgin earth. The building was to have a steel frame and brick exterior walls. Originally, the building was designed to be two stories; however, only one story was built initially, with the intent that the second story would be built at a later point in time. The second story was constructed two years later in February 16, 1950, and the permit issued at the time indicated that the entire building would continue its use as a store. However, eight months after this permit was issued to construct the second story, another permit was issued on October 20, 1950, which indicated that the second floor would change from “office use”—presumably as associated with the retail space on the ground floor— to apartment use. At this time, sky lights were installed in the building. Less than two months later, on December 1, 1950, a Certificate of Occupancy was issued that indicated that the upper floor had been divided into eight different units of space service three different functions, as follows: five apartment units, one hotel room, and two office spaces. There are no permits on file for a forty-three-year period of time spanning from late 1950 until 1993, other than the addition of a 30 square foot projecting sign installed by the Interstate Neon Corporation on October 9, 1961. A permit was issued for a new roof in 1993. In 1995, a permit was issued for a new rollup door at the rear of the building, and a new trash enclosure was constructed in 1996.

**\*B10. Significance (continued):**

**National Register and California Register**

**a. *Broad Patterns of History***

With regard to broad patterns of history, the following are the relevant criteria:

National Register Criterion A: Is associated with events that have made a significant contribution to the broad patterns of our history.

California Register Criterion 1: Is associated with events that have made a significant contribution to the broad patterns of California's history and cultural heritage.

Los Angeles Historic Cultural Monument Criterion 1: Is identified with important events of national, state, or local history, or exemplifies significant contributions to the broad cultural, economic, or social history of the nation, state, city, or community.

5604-5606 Hollywood Boulevard is located in Hollywood on Lot 11 of the Irving Park Tract. Irving Park was surveyed in 1910. Initially the tract was developed with single-family residences. By 1928, the lots along Hollywood Boulevard were being developed with commercial buildings. However, the construction of 5604-5606 Hollywood Boulevard was relatively late in the development of commercial buildings along Hollywood Boulevard as it was constructed in 1948, twenty years after commercial development along the boulevard first began. The subject property is being evaluated under the criterion of “Broad Patterns of History” under the sub-theme of Arterial Commercial Development (1880-1950). The property was first developed in 1948 at the tail end of the period of significance for

this historic context, and the second story of the commercial building was not constructed until 1950, the year that marks the endpoint for the period of significance. Moreover, the building was originally designed to have a second-floor addition. Therefore, the building—including its second story addition—clearly falls within the period of significance. However, the building has been subject to a number of unpermitted alterations over the years that are clearly visible and that detract from its integrity to convey any significant associations with the identified theme and period of significance.

As seen in the Sanborn map from 1950, it can be seen that the first floor had two stores and presumably two different entrances. Now, the the first story storefront appears to be altered as the storefront has only one entrance and it appears as though the storefront windows on the eastern portion of the storefront have been replaced with a recessed wall that has a single punched opening. The second story windows are non-original vinyl-clad windows. The fenestration on the eastern and the western elevations is also largely comprised of replacement vinyl-clad windows (many of them with individual air conditioning units affixed to them); the only original fenestration on these two elevations are some wood hung windows that occur towards the rear of the building, and these have security bars that were affixed to them at an unknown date. The rear façade has been altered through the addition of a new opening at the first floor level to accommodate the width of a car and a roll-up door that was installed in 1995, vinyl-clad windows at the second floor level, and the installation of a metal security door at the second level.

The interior of the building also appears to have been heavily modified. The most intact space on the first floor level is the interior stairwell that leads from the entry at the street to the second floor level; here, the wall finishes, stairs, and handrails all appear to be original, as does the entry door with transom and sidelites. However, elsewhere on the first floor, any first floor interior partitions and finishes that once existed to define the main retail space adjacent to the stairwell have been torn out of the building, presumably in order to better accommodate the auto work function that was introduced to the building in 1992 and that continues to the present day. Shortly after the construction of the second floor of the building in 1950, the use of this space was changed from office use associated with the retail space on the ground floor to a combination of office and apartment use, with a total of eight units accommodating offices, apartments, and one hotel unit. Today, the second floor still accommodates these same uses, with the exception of the hotel unit. The sklights that are in the second floor corridor appear to date to 1950—the year in which the second floor was built—as based upon a permit that describes their installation at this time. However, there is very little in the way of original finishes to the interior of the building at the second floor level. All of the apartment units have been recently remodeled, and have new finishes, fixtures, and cabinetry. Non-original security doors also have been affixed to all of the main entry doors to individual units at the location of the interior L-shaped corridor. As a result of all of these alterations, the building does not retain enough integrity to convey its significance as an arterial commercial development.

**5604-5606 Hollywood does not retain integrity from its original construction to convey its association with Arterial Commercial Development. Therefore, 5604-5606 Hollywood Boulevard does not meet the eligibility requirements under National Register Criterion A, California Register Criterion 1 or the LAHCM Criterion 1.**

***b. Significant Persons***

With regard to associations with important persons, the following are the relevant criteria:

National Register Criterion B: Is associated with the lives of persons significant in our past.

California Register Criterion 2: Is associated with the lives of persons important in our past.

Los Angeles Historic Cultural Monument Criterion 2: Is associated with the lives of historic personages important to national, state, city or local history.

The occupancy and ownership history for the subject property was researched by reviewing City directories, building permits, and the U.S. Census. This research effort revealed no persons important to local, state, or national history were associated with the subject property.

**Therefore, 5604-5606 Hollywood Boulevard does not meet the eligibility requirements under National Register Criterion B, California Register Criterion 2 or the LAHCM Criterion 2.**

**c. *Architecture***

With regard to architecture, design, or construction, the following are the relevant criteria:

National Register Criterion C: Embodies the distinctive characteristics of a type, period, or method of construction or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction.

California Register Criterion 3: Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values.

Los Angeles Historic Cultural Monument Criterion 3: Embodies the distinctive characteristics of a style, type, period, or method of construction; or represents a notable work of a master designer, builder, or architect whose individual genius influenced his or her age

The subject property was originally designed by engineer W.F. Pyne vernacular commercial style. The style is vernacular as it was not designed by an architect, and the building is a functional building that lacks stylistic design elements, such as those that are characteristic of the Mid-Century Modern style that was popular during this era. The front, street-facing façade is the important façade as all of the other elevations are unarticulated plain brick elevations that are utilitarian in their character and lack any stylistic design elements. The front (north) façade's only ornamentation is the horizontal window surround on the second floor, which is unremarkable as a stylistic design element. Furthermore, as discussed above, the building has been heavily altered. Alterations include the non-original vinyl windows on the second floor on all four elevations, the altered storefront on the front facade, and the addition of security bars on the wood hung windows that exist on the two side elevations as located to the rear facade. Because it has been subject to heavy alterations that affect its integrity as a vernacular commercial style building—most notably the alterations to its windows and storefront, which largely do not remain intact—the building does not retain enough integrity to convey its significance as an arterial commercial development.

**Therefore, 5604-5606 Hollywood Boulevard does not meet the integrity or eligibility requirements for significance under National Register Criterion C, California Register Criterion 3 or LAHCM Criterion 3.**

**d. Data**

National Register Criterion D. It yields, or may be likely to yield, information important in prehistory or history.

California Register Criterion 4. Has yielded, or may be likely to yield, information important in prehistory or history.

While most often applied to archaeological districts and sites, Criterion D/4 can also apply to buildings, structures, and objects that contain important information. For these types of properties to be eligible under Criterion D/4, they themselves must be, or must have been, the principal source of the important information. None of the buildings on the subject property appear to yield significant information that would expand our current knowledge or theories of design, methods of construction, operation, or other information that is not already known about the period in which they were constructed, their method of construction, or their design. The building reflects common building practices and materials of the early twentieth century, which have already been well documented.

**Therefore, 5604-5606 Hollywood Boulevard does not meet the eligibility requirements under National Register Criterion D and California Register Criterion 4.**

**\*B12. References (continued):**

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State of California  The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other \_\_\_\_\_  
Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 10 \*Resource Name or #: (Assigned by recorder) 1655 N. St. Andrews Place

P1. Other Identifier: \_\_\_\_\_

\*P2. Location:  Not for Publication  Unrestricted

\*a. County Los Angeles and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

\*b. USGS 7.5' Quad Date T \_\_; R \_\_; W  of \_\_  of Sec \_\_; B.M.

c. Address 1655 S. St. Andrews Place City Los Angeles Zip 90028

d. UTM: (Give more than one for large and/or linear resources) Zone \_\_, \_\_\_\_ mE/ \_\_\_\_ mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, decimal degrees, etc., as appropriate)

APN: 5544-026-010

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

This 14-unit Mid-Century Modern apartment building, which is located on the northwest corner of N. St. Andrews Place and Carlton Way, faces predominantly onto N. St. Andrews Place, although it has a side elevation that faces onto Carlton Way. It was built in 1957 and designed by architect Josef Van Der Kar in the Modern Style and, since its construction, has been in continuous use as multi-family residential housing until very recently, when the entire building was vacated and boarded up. The rectangular building is long and linear, and its length is aligned with the street onto which it fronts. The building is three stories in height (it has a ground level soft story with tuck-in parking spaces, with two levels of living units above). The ground level concrete-slab parking spaces are enclosed on three sides and open to the air only on the front façade, where the building mass above is supported by metal pipe columns. The upper two floors of the building are block-like volumes that hold apartment units, each unit with its own open-air balcony facing toward the street onto which the building faces.

[See Continuation Sheets]

\*P3b. Resource Attributes: (List attributes and codes) HP3 (Multiple Family Property)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects.)



\*P4. Resources Present:

Building  Structure  Object  
 Site  District  Element of District  
 Other (Isolates, etc.)

P5b. Description of Photo: (view, date, accession #) View of the primary (east) façade (view facing west)

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  
 Both

1957/Los Angeles County Assessor

\*P7. Owner and Address:

Mr. Sean Beddoe  
Bow West Capital  
718 South Hill Street, Suite 601  
Los Angeles, CCA 90014

\*P8. Recorded by: (Name, affiliation, and address) Hanna Winzenried  
ESA

626 Wilshire Blvd., Suite 1100  
Los Angeles, CA 90017

\*P9. Date Recorded: July 2020

\*P10. Survey Type: (Describe)  
Intensive Pedestrian

\*P11. Report Citation: (Cite survey report and other sources, or enter "none.")

ESA, 5600 Hollywood Blvd, 5604-5606 Hollywood Boulevard, 1655 N. Saint Andrews Place, and 5607 Carlton Way, Los Angeles, California Historic Resources Assessment, July, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  
 Artifact Record  Photograph Record  Other (List): \_\_\_\_\_

State of California  The Resources Agency Primary # \_\_\_\_\_  
 DEPARTMENT OF PARKS AND RECREATION HRI# \_\_\_\_\_  
**BUILDING, STRUCTURE, AND OBJECT RECORD**

\*Resource Name or # (Assigned by recorder) 1655 N. St. Andrews Place \*NRHP Status Code 6Z  
 Page 2 of 10

B1. Historic Name: \_\_\_\_\_  
 B2. Common Name: \_\_\_\_\_  
 B3. Original Use: Multi-family housing B4. Present Use: Vacant

\*B5. Architectural Style: Mid-Century Modern

\*B6. Construction History: (Construction date, alterations, and date of alterations)  
 The three-story, 14-unit Mid-Century Modern multi-family apartment building with two residential levels and soft-story parking spaces located at the ground floor level was constructed in 1957, according to the original building permit. The building was designed by architect Josef Van Der Ker. Construction costs were valued at \$88,000. The only additional building permit on file for the subject property was issued in 1972, fifteen years after the the building's original construction, and it was to replace balcony railings on the second and third floors, for a valuation of \$2,400. According to a review of Google Street View, the apartment building has been known as "Park Andrew Plaza" since at least 2011. A tree located in the front of the building as positioned towards the center of the building was removed between 2011 and 2014. [See Continuation Sheets]

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features:

B9a. Architect: Josef Van Der Kar b. Builder: Stuart [sic] Const. Co.

\*B10. Significance: Theme Architecture and Engineering (1850-1980), Sub-Context: L.A. Modernism (1919-1980), Theme: Postwar Modernism (1946-1975), Sub-Theme: Mid-Century Modernism (1945-1970) Area Hollywood

Period of Significance 1957 Property Type Multi-Family Residential Applicable Criteria \_\_\_\_\_

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)  
 5604-5604 Hollywood Blvd and 1655 N. Saint Andrews Place were evaluated under the historical and architectural themes as described above in accordance with SurveyLA evaluation methods. 5600 Hollywood Boulevard and 5607 Carlton Way are not being evaluated as they are not developed with buildings. ESA also conducted research on the two subject properties' construction and occupancy history. ESA evaluated each of the two subject properties under the criteria for listing in the National Register, California Register, and as a Los Angeles Historic Cultural Monument (LAHCM).  
 [See Continuation Sheets]

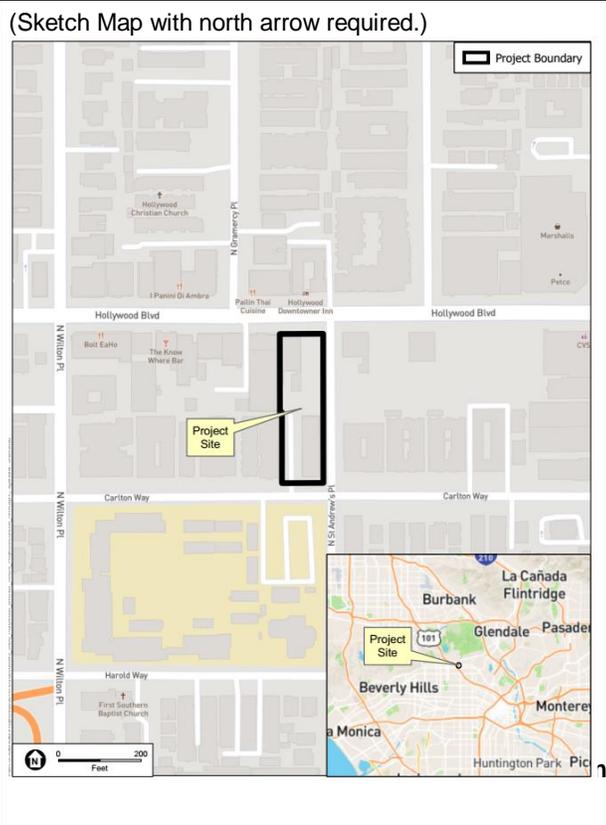
B11. Additional Resource Attributes: (List attributes and codes) \_\_\_\_\_

\*B12. References:  
 [See Continuation Sheets]

B13. Remarks:

\*B14. Evaluator: Hanna Winzenried  
 \*Date of Evaluation: July, 2020

(This space reserved for official comments.)





corridors internal to the building. At the second floor landing where the open tread staircase to the exterior of the building transitions to the enclosed corridor to the interior of the building are located two doors on either side of the corridor. These provide entry to the two units that immediately flank the stairs. At the third floor landing located at the termination of the the internal stair corridor are two more doors, one located on each side of the corridor. Each of these two doors provide access to the two apartment units immediately flanking the interior stair corridor. This circulation pattern is repeated down the length of the building, with each of three stairs located to the exterior of the building between the ground level and the first floor giving way to an internal stair corridor that provides access to two apartment units that flank it on the second floor level and another two apartment units that flank it on the third floor level, for a total of 14 apartment units opening off of a series of stair corridors along the length of the building. The only location in which there is a deviation from this pattern is at the southeast corner of the building, where a set of exterior open-tread stairs located at the corner of the building, and arranged in a zig-zag configuration, provides direct access to an apartment unit located on the second floor and another located on the third floor.

This open-tread stair is flanked to both sides with a simple, black metal railing that is comprised of vertical metal rods for supports, an upper handrail and a lower rail that run perpendicular to the rise of the stairs, and infill rods that are spaced approximately 4-5" apart from one another; this railing appears to be original. This type of metal railing also flanks the three exterior stairs that were previously described as providing access to the stair corridors to the interior of each of the three northernmost building masses. However, elsewhere, this original railing is no longer extant; the open-air balconies on the front façade are all enclosed with a metal railing that has vertical rods with a twisted configuration to simulate wrought-iron and a foliate metal design as a decorative accent (alteration dating from 1972); the handrails also have vertical supports that extend upward to the underside of the balcony's ceiling.

### **Interior**

As previously described, each of the 14 apartment units contained in the building's three northernmost building masses is accessed by a centralized stair corridor. The entrance to each unit has been altered with the addition of a metal security door that is affixed over the main entry door. Each apartment unit is comprised of a large living room with a opening for a glazed patio door opening to the balcony to the exterior; however, all openings to the exterior within each unit are boarded up with plywood sheathing (alteration). In some units the patio door was observed to be still extant, while in others, it is not.

The living room in each apartment unit opens to a small dining area with no notable features other than some wooden chair railing affixed to the wall. The dining room opens to a kitchen arranged in a galley-like configuration. Located off of the living room is located a bathroom and a single bedroom. The bathrooms in some of the units appeared to be largely original in terms of finishes and fixtures, with tile floors, tile counters, sinks, toilets, and shower/tub enclosures. The bedroom in each unit featured a single window opening on the west wall that was boarded up; many of the bedroom windows in the units appeared to be missing. The eastern wall of the bedrooms in each unit featured a large closet, although the closet doors were typically missing.

The typical walls and ceiling in each unit are painted sheetrock, and the floors are a variety of finish surfaces including wood, tile, and vinyl flooring; the original flooring materials are unknown, but some finishes—such as wood flooring—appear original, while others are clearly more recent alterations, such as some tile surfaces found in kitchens.

**\*B10. Significance (continued):**

**National Register and California Register**

**a. *Broad Patterns of History***

With regard to broad patterns of history, the following are the relevant criteria:

National Register Criterion A: Is associated with events that have made a significant contribution to the broad patterns of our history.

California Register Criterion 1: Is associated with events that have made a significant contribution to the broad patterns of California's history and cultural heritage.

Los Angeles Historic Cultural Monument Criterion 1: Is identified with important events of national, state, or local history, or exemplifies significant contributions to the broad cultural, economic, or social history of the nation, state, city, or community.

1655 N. Saint Andrews Place is located in Hollywood on Lot 13 of Irving Park Tract. The Irving Park tract was surveyed in 1910. Initially the tract was developed with single-family residences, with the exception of the lots located to the northern part of the tract, as located along Hollywood Boulevard, which were being developed with commercial buildings by 1928. The original single-family residence located on Lot 13 was replaced with the current multi-family apartment building in 1957, and it was among the earliest multi-family residential developments in the tract. However, it was not the first multi-family residential development within the tract, as multi-family apartment buildings were constructed at 5611 Carlton Way in 1930. 1680 N. Wilton Place was constructed in 1955, two years earlier than the subject property. Therefore, the subject property was not trendsetting in the development of the tract as multi-family residences were already being developed in the tract prior to its development. The subject property is being evaluated under "Broad Patterns of History" under the property sub-type of Mid-Century Modernism, 1945-1970. The property was constructed during the period of significance; however, the integrity of the building is not adequate to convey its significance as an a Mid-Century Modern building as the the replacement of the original handrails in 1972 with decorative foliate handrails completely detracts from the modern design, which was intended to be unornamented, thus, eroding the building's association with the property sub-type.

**1655 N. Saint Andrews Place is not an important to the development of the Irving Park tract and it does not retain integrity from its original construction to convey its association with Mid Century Modernism, 1945-1970. Therefore, 1655 N. Saint Andrews Place does not meet the eligibility requirements under National Register Criterion A, California Register Criterion 1 or the LAHCM Criterion 1.**

**b. Significant Persons**

With regard to associations with important persons, the following are the relevant criteria:

National Register Criterion B: Is associated with the lives of persons significant in our past.

California Register Criterion 2: Is associated with the lives of persons important in our past.

Los Angeles Historic Cultural Monument Criterion 2: Is associated with the lives of historic personages important to national, state, city or local history.

The occupancy and ownership history for the subject property was researched by reviewing City directories, building permits, and the U.S. Census. This research effort revealed no persons important to local, state, or national history were associated with the subject property.

**Therefore, 1655 N. Saint Andrews Place does not meet the eligibility requirements under National Register Criterion B, California Register Criterion 2 or the LAHCM Criterion 2.**

**c. Architecture**

With regard to architecture, design, or construction, the following are the relevant criteria:

National Register Criterion C: Embodies the distinctive characteristics of a type, period, or method of construction or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction.

California Register Criterion 3: Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values.

Los Angeles Historic Cultural Monument Criterion 3: Embodies the distinctive characteristics of a style, type, period, or method of construction; or represents a notable work of a master designer, builder, or architect whose individual genius influenced his or her age

The subject property was originally designed by noted architect Josef Van der Kar in a Mid-Century Modern style. The building is broken up into three different nearly identical masses that occur on the northernmost and central portion of the property, while a fourth building mass at the southern end of the subject property is articulated differently than the other three masses, giving the building an asymmetrical character. Each of the three masses on the northern and central portion of the subject property is treated in the exact same way with a central exterior staircase that leads to a unit on either side of the stair case on the second and third floors. However, the southern mass has a staircase at the southeast corner that goes up in a zigzag pattern to two apartments, one located on each level of the three-story building. Each of the 14 apartment units that comprise the entirety of the building opens up to a balcony on the east (primary) façade. The building is rectangular and asymmetrical as each mass follows the grade of the lot on which it sits. Therefore, it is clear that the building has interesting compositional arrangements typical of the Mid-Century Modern Style and that Van der Kar played with the massing of the building. It was originally sleek and modern with minimal ornamentation as is typical

of modern designs. It retains many character-defining features from the period of significance including simple geometric volumes, unornamented wall surfaces, some limited direct expression of the structural system with steel posts defining the parking spaces soft story parking spaces located at the ground floor level, horizontal massing, and a flat roof.

However, the building does have some integrity issues. Some of the glazed sliding doors that open to balconies on the front facade and original fenestration remains intact, although many have been removed; exactly how many doors and windows have been removed is difficult to tell, however, since all of the openings are boarded up. The alteration that makes the biggest impact to the integrity of the building in terms of its design, workmanship, feeling, and association is the replacement of the original railing in 1972. The original handrail was a simple metal handrail that is still extant in very limited locations on the building and can be observed flanking the series of three exterior staircases, as well at the location of the exterior staircase on the southeastern corner of the building. The original design of the handrail on the building was very restrained and followed the minimal and sleek aesthetic of modern design. However, in 1972, a new handrail with an ornate foliate design replaced the original railing at the location of all of the street-facing balcony enclosures. This replacement handrail, which is still extant today, also has vertical supporting posts that extend from the level of each balcony floor to the height of the balcony ceiling. The replacement railing from 1972 completely detracts from the original modern design, which was intended to be unornamented. The building originally had a simple, spare, and unornamented design, as was characteristic of both the Mid-Century Modern style and the other works designed by the architect, Josef Van Der Kar. Furthermore, while Van der Kar is potentially an important architect, he is not currently considered a master architect; he is not particularly well known as there is no significant scholarship about his body of work. Due to the building's lack of adequate integrity to convey its significance as a work of Mid-Century Modern architecture, as well as the fact that it was not designed by an architect that is considered a master architect, the building does not meet the criteria for significance.

**Therefore, 1655 N. Saint Andrews Place does not meet the integrity or eligibility requirements for significance under National Register Criterion C, California Register Criterion 3 or LAHCM Criterion 3 as a Mid-Century Modern building.**

***d. Data***

National Register Criterion D. It yields, or may be likely to yield, information important in prehistory or history.

California Register Criterion 4. Has yielded, or may be likely to yield, information important in prehistory or history.

While most often applied to archaeological districts and sites, Criterion D/4 can also apply to buildings, structures, and objects that contain important information. For these types of properties to be eligible under Criterion D/4, they themselves must be, or must have been, the principal source of the important information. None of the buildings on the subject property appear to yield significant information that would expand our current knowledge or theories of design, methods of construction, operation, or other information that is not already known about the period in which they were constructed, their

method of construction, or their design. The building reflects common building practices and materials of the early twentieth century, which have already been well documented.

**Therefore, 1655 N. Saint Andrews Place does not meet the eligibility requirements under National Register Criterion D and California Register Criterion 4.**

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